



**HISTORIC PRESERVATION COMMISSION
JUNE 28, 2018
ASSEMBLY HALL
395 MAGNOLIA ROAD
PINEHURST, NORTH CAROLINA
4:00 PM**

- I. Call to Order
- II. Approval of Minutes
 - A. May 24, 2018 Minutes
- III. Old Business
 - A. Design Guideline Draft Updates
- IV. Public Hearing
 - A. COA 18-52
A request to modify the rear, golf-course facing outdoor living area at 240 Midland Road, Pinehurst, NC which currently has an uncovered patio. The property can be identified as Moore County LRK# 26367. The applicant is Huntley Design Build, Inc. and the property owners are Kyle and Carrie Simmons.
 - B. COA 18-53
A request to replace the existing vinyl siding with new vinyl siding and vinyl shake at 100 Kelly Road, Pinehurst, NC. The property can be identified as Moore County LRK# 22511. The applicant is TLD Construction and Home Repair, and the property owners are Valerie and Donald Mead.
- V. Review of Normal Maintenance and Minor Work items
 - A. Report for 5/15/2018 - 6/13/2018
- VI. Next Meeting Date
 - A. July 26, 2018
- VII. Comments from Attendees
- VIII. Motion to Adjourn

*Vision: The Village of Pinehurst is a charming, vibrant community which reflects our rich history and traditions.
Mission: Promote, enhance, and sustain the quality of life for residents, businesses, and visitors.
Values: Service, Initiative, Teamwork, and Improvement.*



**MAY 24, 2018 MINUTES
ADDITIONAL AGENDA DETAILS:**

ATTACHMENTS:

Description

📎 May 24, 2018 Minutes



**HISTORIC PRESERVATION COMMISSION
May 24, 2018
ASSEMBLY HALL
395 MAGNOLIA ROAD
PINEHURST, NORTH CAROLINA
4:00 PM**

MINUTES

Commission Members in Attendance:

Bob Farren, Chair
Christine Dandeneau, HPC Member
Mark Parson, HPC Member
Tom Schroeder, HPC Member

Commission Members Absent:

Molly Gwinn, Vice-Chair
Jim McChesney, HPC Member
John Taylor, HPC Member

Staff Present:

Alex Cameron, Senior Planner
Stephanie Goodrich, Senior Planner
Gwendy Hutchinson, Planning and Administrative Assistant

I. Call to Order

Chair Bob Farren introduced the Commission members and welcomed members of the audience. Chair Farren stated that the overview of our Commission is to approve Certificates of Appropriateness for new construction and Major Work, and to do so by conducting hearings and Findings of Fact where applications come before us. Our mission is to take no action except to preserve what is congruous with the special character of the Village of Pinehurst Historic District. This special character to be preserved and enhanced is that of a growing and vibrant Village.

II. Approval of Minutes

A. April 26, 2018

Tom Schroeder made a motion to approve the April 26, 2018 Minutes; Mark Parson seconded the motion, which was unanimously approved.

III. Review of Normal Maintenance and Minor Work Items

No action was taken by the Commission.

IV. Sworn In:

The following were sworn in Stephanie Goodrich; Russ Cribbs, Cribbs Construction; and Brandon Riley, Property Owner.

V. Public Hearing

A. COA 18-36

A request to build a home at 20 Woods Rd., Pinehurst, NC which is currently a vacant lot. This property can be identified as Moore County LRK# 20110257. The applicant is Cribbs Construction Company, LLC. and the property owners are Lance and Lauren Craig.

Stephanie Goodrich, Senior Planner read the staff report and confirmed that adjacent property owners were notified and that the property had been properly posted.

Russ Cribbs, Cribbs Construction was present to answer any questions or address any concerns of the Commission.

After discussion, Tom Schroeder made a motion to issue a Certificate of Appropriateness to build a new home at 20 Woods Road and to adopt the Findings of Fact; Mark Parson seconded the motion, which was unanimously approved.

B. COA 18-37

A request to demolish a home at 600 Linden Rd., Pinehurst, NC which currently has a main dwelling and an accessory dwelling. Only the primary or main dwelling is to be demolished. This property can be identified as Moore County LRK# 16367. The applicant is PETT, LLC. and the property owner is Patrick Kulisek.

Stephanie Goodrich, Senior Planner read the staff report and confirmed that adjacent property owners were notified and that the property had been properly posted.

Jim Murray, Real Estate Broker and Brandon Riley, new Property Owner were present to answer any questions or address any concerns of the Commission.

After discussion, Christine Dandeneau made a motion to issue a Certificate of Appropriateness to demolish the home at 600 Linden Road and to adopt the Findings of Fact; Mark Parson seconded the motion. The vote was 3-1 to demolish the home at 600 Linden Road. Tom Schroeder voted not to approve the request as the original applicant was not present.

COA 18-38

A request to demolish a pool at 125 Blue Rd., Pinehurst, NC. This property can be identified as Moore County LRK# 17071. The applicant is Canady Construction, LLC, and the property owners are Lawrence and Frances Morris.

Stephanie Goodrich, Senior Planner read the staff report and confirmed that adjacent property owners were notified and that the property had been properly posted.

After discussion, Christine Dandeneau made a motion to issue a Certificate of Appropriateness to demolish a pool at 125 Blue Road and to adopt the Findings of Fact; Tom Schroeder seconded the motion, which was unanimously approved.

COA 18-39

A request to paint the home at 10 Medlin Rd., Pinehurst, NC a color not in the Village of Pinehurst color palette. This property can be identified as Moore County LRK# 18534. The applicant is Ben Bridgers and the property owners is Benjamin Ivey Bridgers.

Stephanie Goodrich, Senior Planner read the staff report and confirmed that adjacent property owners were notified and that the property had been properly posted.

After discussion, Mark Parson made a motion to issue a Certificate of Appropriateness to paint the home at 10 Medlin Road that is not in the color palette and to adopt the Findings of Fact; Christine Dandeneau seconded the motion, which was unanimously approved.

VI. Next Meeting Date: June 28, 2018

VII. Other Business;

Guidelines: Update Committee

The Design Guidelines Draft Update Committee is continuing to meet and are hoping to have it ready to go to Village Council soon.

VIII. Motion to Adjourn

With no further discussion, Mark Parson made a motion to adjourn; Tom Schroeder seconded the motion, which was unanimously approved. The meeting was adjourned at 5:00 pm.

Vision: The Village of Pinehurst is a charming, vibrant community which reflects our rich history and traditions. Mission: Promote, enhance, and sustain the quality of life for residents.



**DESIGN GUIDELINE DRAFT UPDATES
ADDITIONAL AGENDA DETAILS:**

FROM:

Stephanie Goodrich

DATE OF MEMO:

5/17/2018

MEMO DETAILS:

These are the minutes from the 5-14-18 committee meeting that were approved on 6-14-2018 by committee. Provided for your information, no action needed.

ATTACHMENTS:

Description

- Committee Minutes approved 6-14-2018

**Pinehurst Historic Preservation Commission
Design Guidelines Committee Meeting
May 14, 2018
Village Hall 1st Floor Conference Room
3:00 p.m.**



AGENDA

Commission Members in Attendance:

Bob Farren, Chairman
Christine Dandeneau, Commission Member
Tom Schroeder, Commission Member
Molly Gwinn, Commission Member

Others in Attendance:

Alex Cameron, VOP Planning and Inspections; Stephanie Goodrich, VOP Planning and Inspections; John Hoffman; John Strickland

I. Call to Order

II. Discussion of the Draft Design Guidelines for the Pinehurst Historic District

A general Discussion was held regarding the input and concerns about the Draft Design Guidelines. It was agreed that the language would need some updating as far as when the guidelines would state that an applicant “Should” follow the guidelines and “Must follow the guidelines.

Meetings of the Design Guidelines Committee will be held in the near future as these issues are addressed in the draft. No dates are set at this time.

III. Motion to Adjourn

Tom Schroeder made a motion to adjourn the meeting. The motion was seconded by Christine Dandeneau and carried unanimously. The meeting adjourned at 4:55 p.m



COA 18-52

ADDITIONAL AGENDA DETAILS:

A request to modify the rear, golf-course facing outdoor living area at 240 Midland Road, Pinehurst, NC which currently has an uncovered patio. The property can be identified as Moore County LRK# 26367. The applicant is Huntley Design Build, Inc. and the property owners are Kyle and Carrie Simmons.

ATTACHMENTS:

Description

☐ Staff Report

LOCAL HISTORIC DISTRICT APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
STAFF REPORT

COA: 18-52

240 Midland Road

Parcel ID #26367

Rear Addition to rear patio

PIN # 856206378723

APPLICANT:

Huntley Design Build

PROPERTY OWNER(S):

Kyle & Carrie Simmons

RECEIVED:

5/26/2018

MEETING DATE:

6/28/2018

ZONING DISTRICT:

R-20

LHD STATUS:

Non-Contributing

ADDITIONAL APPROVALS/PERMITS NEEDED:

- ✓ ZONING APPROVAL
- ✓ BUILDING OFFICIAL

NATURE OF PROJECT:

- Outdoor Living area to be covered, add new chimney to same

FACTS

APPLICABLE SECTIONS OF STANDARDS AND GUIDELINES

STAFF ANALYSIS: Property was a wooded, vacant lot until the construction of the existing structure in 2001. Minor alterations have been made to the property since the time of construction. The rear patio was added in 2010 and materials were used that matched existing materials.

A. SECTION 1.6.4.1 MAJOR WORK - *New construction or additions not considered to be minor.*

1. This request is considered to be major work because it involves a new addition that **is/is not** considered minor work.

ADDITION:

B. SECTION 3.1.2.1 ADDITIONS STANDARDS - *Additions shall be located as inconspicuously as possible, preferably on rear elevations.*

1. The proposed addition **will/will not** be inconspicuous and **will/will not** be on the rear elevation.

C. SECTION 3.1.2.2 ADDITIONS STANDARDS - *Additions must be compatible with the original buildings in terms of size, scale, color, materials and character.*

1. The proposed addition **will/will not** be of similar scale and character as the existing building.
2. The proposed addition **will/will not** consist of compatible materials and colors to the existing building.

D. SECTION 3.1.2.3 ADDITIONS STANDARDS - *Roof forms are particularly important and shall blend with original buildings.*

1. The rooflines of the proposed addition **will/will not** blend with the original building.

E. SECTION 3.1.2.4 ADDITIONS STANDARDS - *Windows in additions shall be similar to those in the original buildings in their proportions, spacing, muntins, and materials.*

1. The windows in the proposed addition **will/will not** be similar to those in the original building.

F. SECTION 3.1.2.5 ADDITIONS STANDARDS – *Additions shall not be taller than the original buildings.*

1. The proposed addition **will/will not** be taller than the original building.

G. SECTION 3.1.2.6 ADDITION STANDARDS – *Foundations and eaves or major horizontal elements shall generally align on building and their additions.*

1. The proposed addition **will/will not** have foundations and eaves that generally align with the existing building.



Application for Local Historic District

This form is required to be submitted for most work proposed within the Local Historic District. Please note that other applications may be required for your project in addition to this form. All major work projects require at least 10 sets of plans and applications for historic review. These sets may be reduced-size, as long as they are legible. The Historic Preservation Commission generally meets the 4th Thursday of each month; please refer to the schedule for any holiday changes. Submittals for the Historic Commission are required at least 3 weeks prior to any given meeting. Please note that most single family projects require review by Planning Staff first; non-residential projects require other technical staff review and possibly reviews by other boards. Please refer to the *Local Historic District Standards and Guidelines* and the Pinehurst Development Ordinance for requirements and standards.

Property Data

Property Owner(s): Kyle & Carrie Simmons
Business Name (if applicable): _____
Tenant Name (if applicable): _____
Physical Address: 240 Midland Road
Mailing Address (if different): 2600 Ridge Road W Alexandria, VA 22302
Phone #: _____ Mobile #: (202) 299-7677 (Mrs. Simmons)
Zoning District: R-20 LRK #: 00026367 PIN #: 856206378723

Applicant/Contractor Data

Name: Huntley Design Build, Inc.
Contractor License #: 51968
Phone #: (910) 684-8149
E-mail Address (optional): will@huntleydesignbuild.com
Mailing Address: 550 South Ashe Street Southern Pines, NC 28387
Estimate Cost of Construction: \$ \$50,000

*Would you like your sets of plans returned to you from the Historic Commission? Yes: _____ No: ☒ x



Application for Local Historic District

Description of Project:

Outdoor living area added to existing structure



Application for Local Historic District

EXTERIOR MATERIAL COLOR FORM

EXTERIOR	MATERIAL	COLOR
Front Elevation		
Rear Elevation	Outdoor living area to match existing	(See attached color sheet)
Right Elevation		
Left Elevation		
Trim		
Windows		
Chimney	Dry stacked stone with no mortar joint	Statesville Squared
Foundation		
Front Door		
Shutters		
Garage Door		
Roof		
Roof Exhaust Vents		
Front Porch		
Deck		
Patio		
Sidewalk		
Sky Lights		
Driveway		
House Number		

Signature: _____

Date: 5/14/18



Application for Local Historic District

Office Use Only

Project Type: ☐ Normal Maintenance ☐ Minor Work ☐ Major Work

Current Status: ☐ Contributing ☐ Non-contributing ☐ Vacant

COA# _____ Date: _____ Staff: _____ HPC Mtg(s): _____

Other required approvals: _____

Conditions: _____

240 Midland Road
Kyle & Carrie Simmons



Existing House Colors

Trim -

Pure White SW7005

SW 7005

Pure White

Interior / Exterior

Locator Number: 255-C1

Siding/Brick -

Nacre SW6154

SW 6154

Nacre

Interior / Exterior

Locator Number: 263-C2

Roof-

Georgetown Gray



HUNTLEY
DESIGN BUILD



Building Excellence since 2002

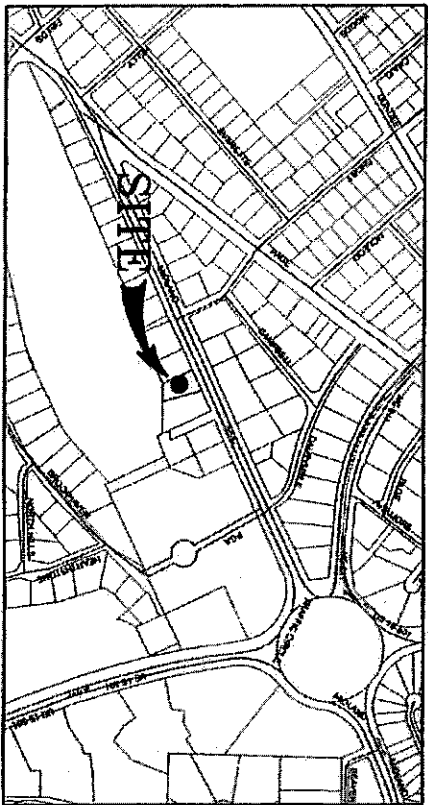
240 Midland Road

Kyle & Carrie Simmons

Statesville Squared Stone

Application to be dry stacked





LOCATION SKETCH

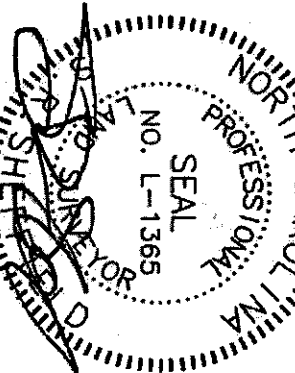
I certify that this map was drawn under my supervision from an actual survey made under my supervision; that the boundaries not surveyed are indicated as drawn from information shown hereon; that the ratio of precision or positional accuracy is 1/10,000+; and that this map meets the requirements of the Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600).
Further:
I hereby certify that the premises shown & described hereon, do not lie in a F.E.M.A. designated 100 year flood plain area.

REFERENCE:
MAP BOOK 1, SEC. 1, PAGE 64
PLAT C&B, 6, SLIDE 334
DEED BOOK 3468, PAGE 17
MOORE COUNTY REGISTRY
ACREAGE DETERMINED
BY COORDINATE METHOD.

NOT INTENDED TO BE PREPARED
FOR RECORDATION IN ACCORDANCE
WITH G. S. 47-30 AS AMENDED.

CORPORATE LICENSE NO. C-1987

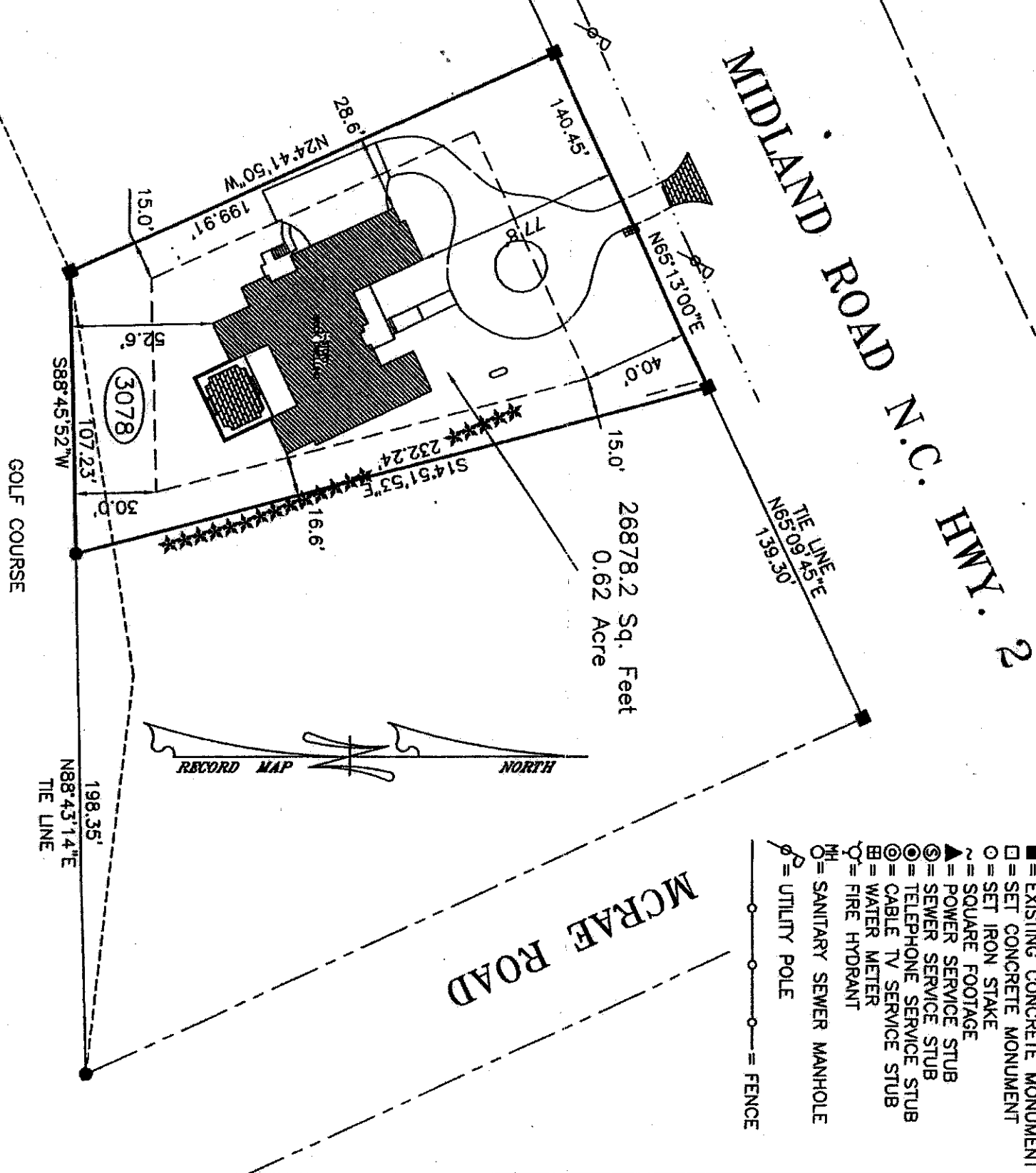
S. R. SHEFFIELD, PLS NO. 1365



DATE: NOVEMBER 17, 2017

UNLESS OTHERWISE DENOTED,

- = EXISTING IRON STAKE
- = EXISTING CONCRETE MONUMENT
- = SET CONCRETE MONUMENT
- = SET IRON STAKE
- ~ = SQUARE FOOTAGE
- ▲ = POWER SERVICE STUB
- ⊙ = SEWER SERVICE STUB
- ⊙ = TELEPHONE SERVICE STUB
- ⊙ = CABLE TV SERVICE STUB
- ⊙ = WATER METER
- ⊙ = FIRE HYDRANT
- ⊙ = SANITARY SEWER MANHOLE
- ⊙ = UTILITY POLE
- = FENCE



SURVEY FOR

SPT VENTURES LLC

LOT NO. 3078, OLD TOWNE
REVISION OF LOT 3078

MINERAL SPRINGS TOWNSHIP, MOORE COUNTY,

PINEHURST, NORTH CAROLINA

NOVEMBER 17, 2017 -- SCALE 1"=60'

STEPHEN R. SHEFFIELD & ASSOCIATES, P.A.

1680 NC HWY. 5, SUITE NO. 170

ABERDEEN, NORTH CAROLINA



REMODELING AND REHABILITATION LIABILITY DISCLAIMER
VERIFICATION OF EXISTING CONDITIONS

INASMUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPANDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE OWNER AGREES THAT, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, THE OWNER WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL FROM AND AGAINST ANY AND ALL CLAIMS ARISING OUT OF THE PROFESSIONAL SERVICES PROVIDED UNDER THIS AGREEMENT.

NOTE: CRITICAL! CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY DESIGNTech OF ANY DISCREPANCIES.

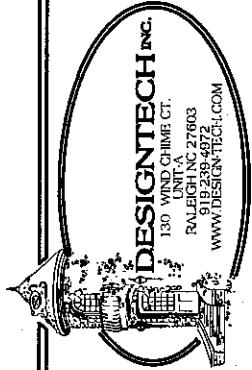
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY ERROR OR OMISSIONS SHALL BE REPORTED TO DESIGNTech, INC. FOR CORRECTIONS OR REVISIONS. CONTRACTOR SHALL VERIFY ALL HOME IS TO BE BUILT. IF NO ENGINEERING DRAWINGS ARE PROVIDED, CONTRACTOR MUST ASSUME ALL DIMENSIONS AND CONDITIONS AS SHOWN ON THE DRAWINGS. CONTRACTOR HAS BEGUN. CONTRACTOR WILL ASSUME ALL RESPONSIBILITY. PLAN HAS BEEN DESIGNED TO COMPLY WITH 2012 IRC.

REVISIONS:

DATE: NAME:

DRAWN BY:
RKR
CHECKED BY:

DATE:
5-15-18
PLAN NO.
MIDLAND

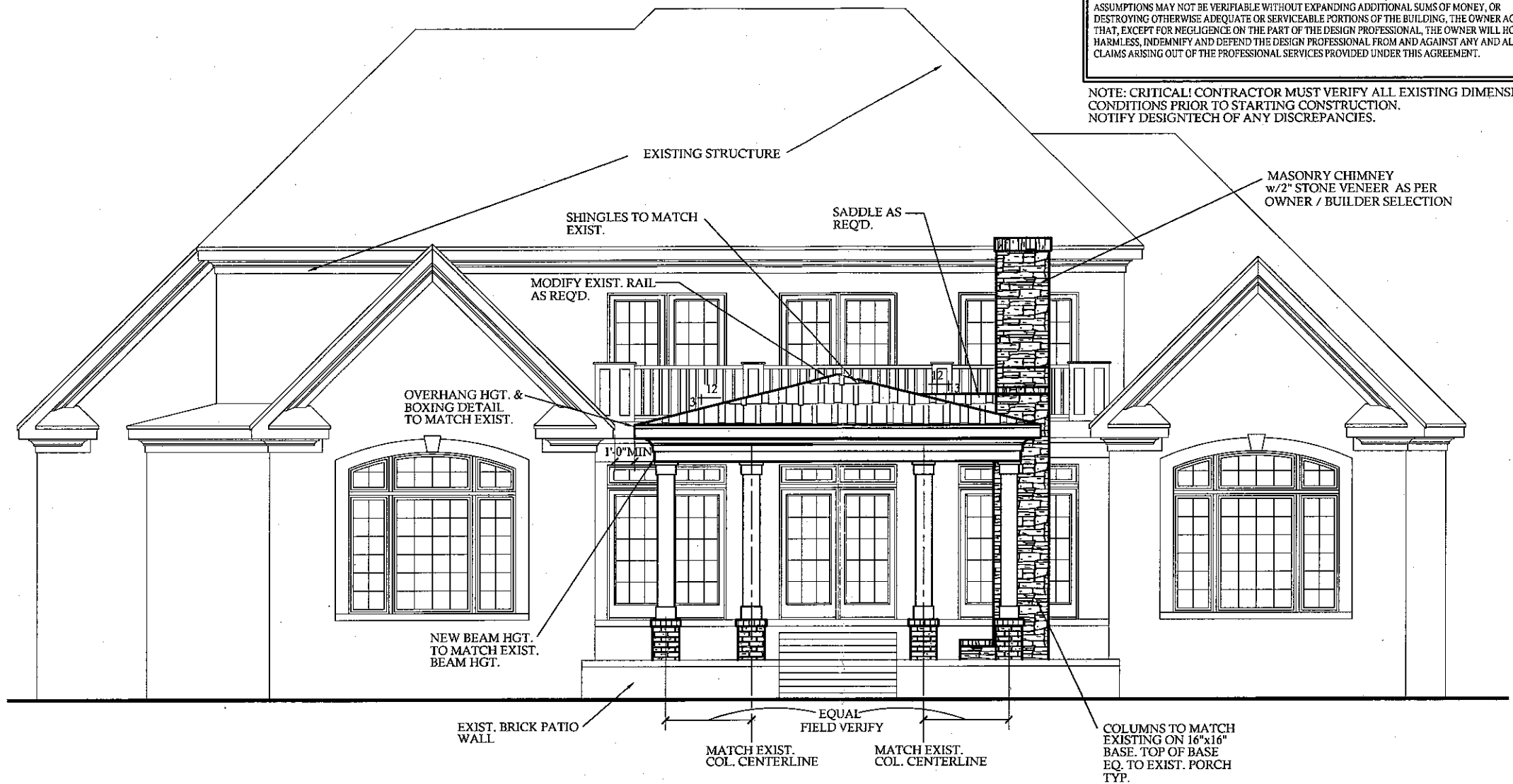


240 MIDLAND RD
COVERED PATIO ADDITION

1

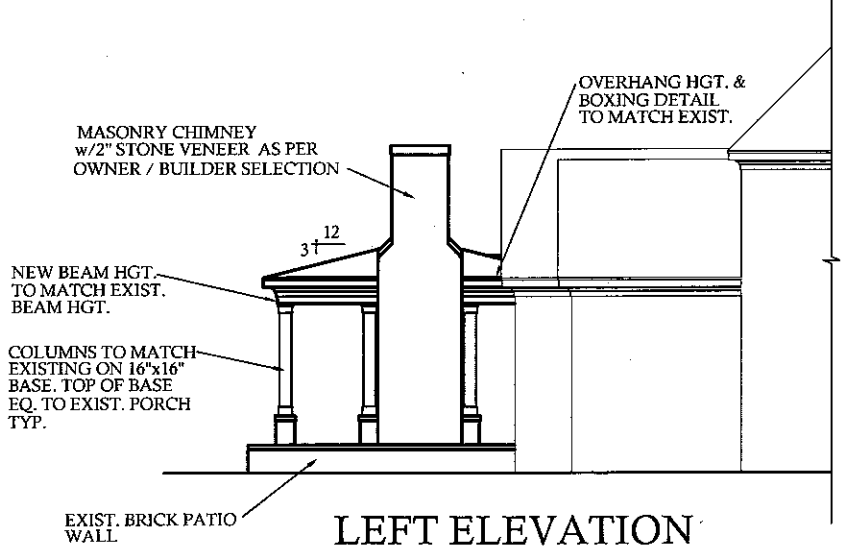
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SHEET NO.
1
OF
3



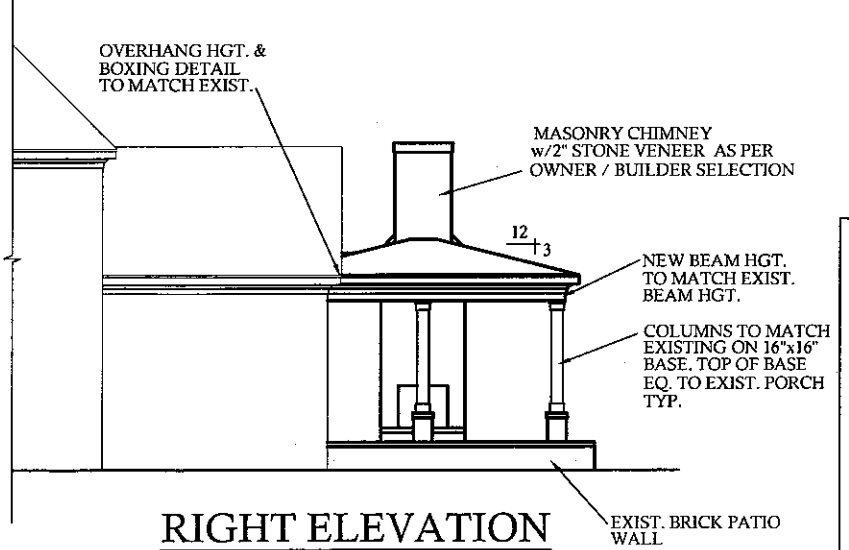
REAR ELEVATION

SCALE: 1/4"=1'-0"



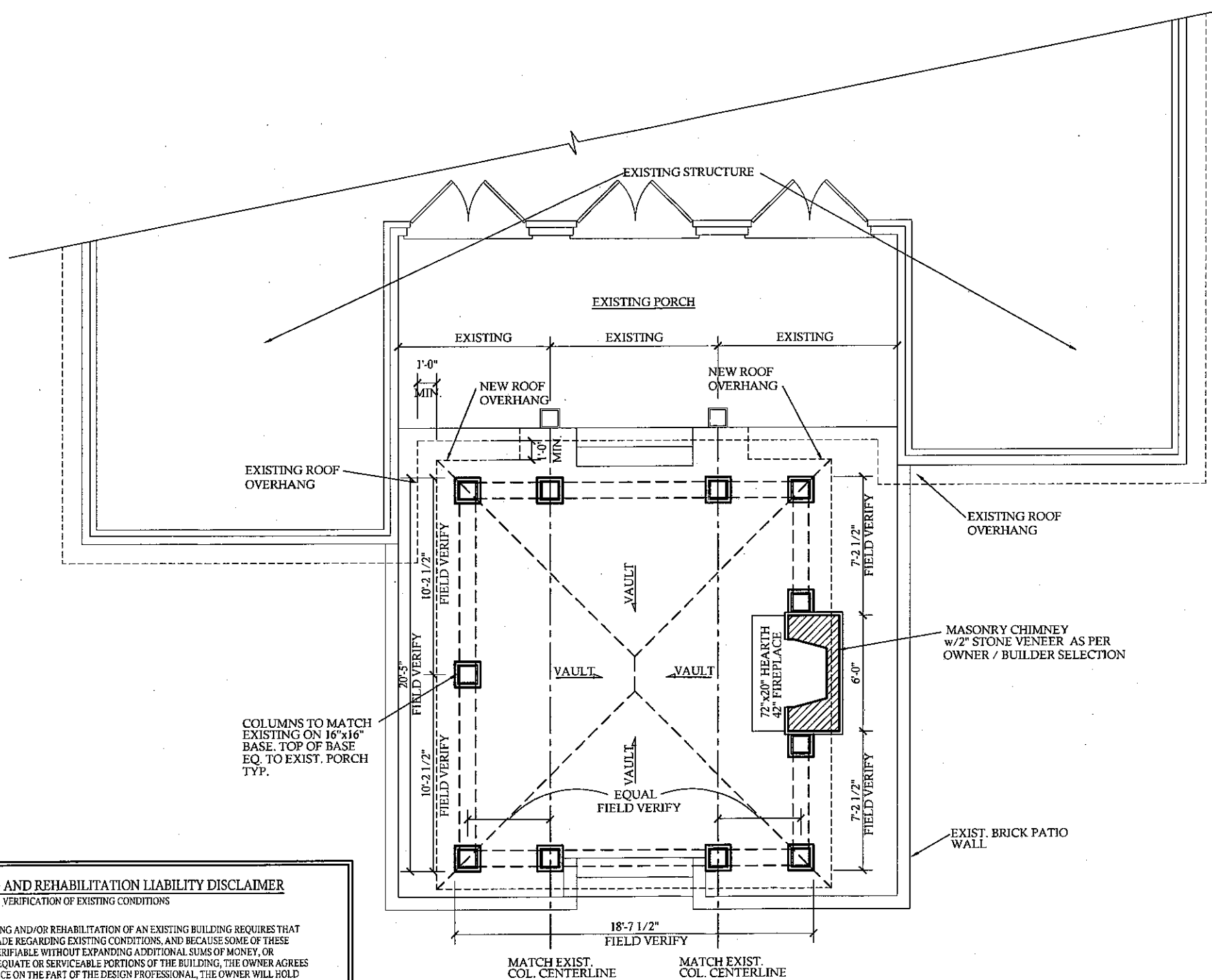
LEFT ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE: 1/8"=1'-0"



REMODELING AND REHABILITATION LIABILITY DISCLAIMER
 VERIFICATION OF EXISTING CONDITIONS

INASMUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPANDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE OWNER AGREES THAT, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, THE OWNER WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL FROM AND AGAINST ANY AND ALL CLAIMS ARISING OUT OF THE PROFESSIONAL SERVICES PROVIDED UNDER THIS AGREEMENT.

NOTE: CRITICAL! CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY DESIGNTech OF ANY DISCREPANCIES.

FLOOR PLAN

SCALE: 1/4"=1'-0"

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY ERROR OR OMISSIONS SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY. JUSTIFICATION: CONTRACTOR MUST COMPLY WITH ALL LOCAL BUILDING CODES WHERE HOME IS TO BE BUILT; IF NO ENGINEERING REQUIREMENTS ARE SPECIFIED, CONTRACTOR MUST CONSULT WITH LOCAL ENGINEER FOR STRUCTURAL DESIGN. ONCE CONSTRUCTION HAS BEGUN, CONTRACTOR WILL ASSUME ALL RESPONSIBILITY. THAT HAS BEEN DESIGNED TO COMPLY WITH THE INC.

REVISIONS:	
DATE:	NAME:

DRAWN BY:
RKR

CHECKED BY:

DATE:
5-15-18

PLAN NO.
MIDLAND

DESIGNTech INC.
 130 WIND CHIME CT.
 UNIT A
 RALPHEN, IN 46377
 919-231-1127
 WWW.DESIGNTech.COM

240 MIDLAND RD
 COVERED PATIO ADDITION

AI
BD

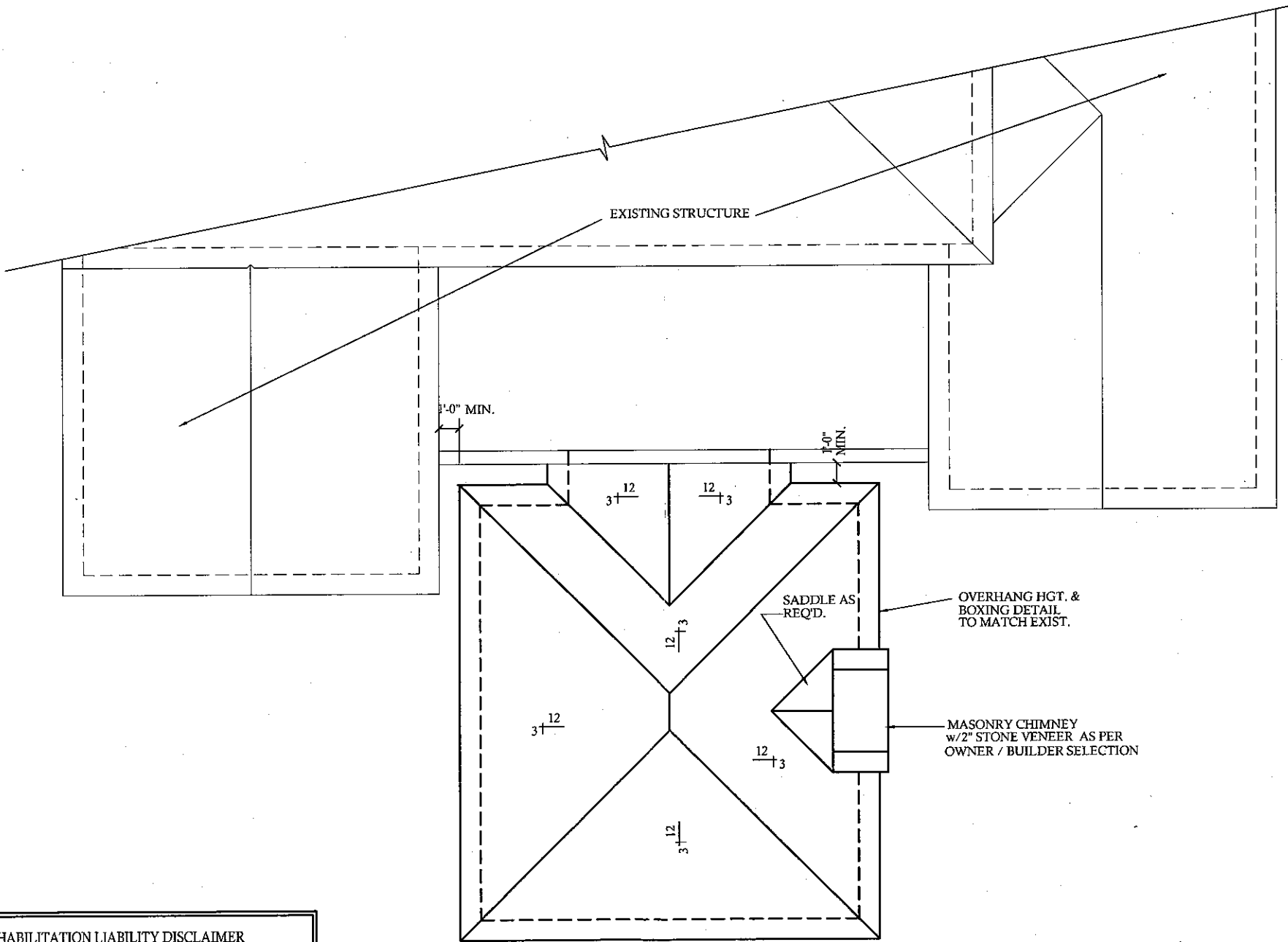
SHEET NO.
2
OF
3

COPYRIGHT 2018 BY DESIGNTech INC. ALL RIGHTS RESERVED. NO PART OF THESE PLANS MAY BE USED, REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR OTHERWISE WITHOUT THE PERMISSION OF DESIGNTech INC.

REMODELING AND REHABILITATION LIABILITY DISCLAIMER
VERIFICATION OF EXISTING CONDITIONS

INASMUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPANDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE OWNER AGREES THAT, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, THE OWNER WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL FROM AND AGAINST ANY AND ALL CLAIMS ARISING OUT OF THE PROFESSIONAL SERVICES PROVIDED UNDER THIS AGREEMENT.

NOTE: CRITICAL! CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY DESIGNTech OF ANY DISCREPANCIES.



ROOF PLAN

SCALE: 1/4"=1'-0"

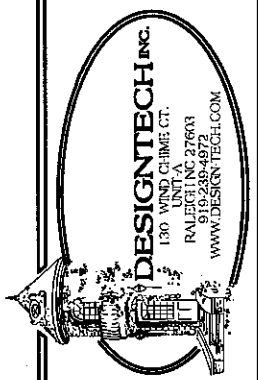
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

REVISIONS:

DATE:	NAME:

DRAWN BY:
RKR
CHECKED BY:

DATE:
5-15-18
PLAN NO.
MIDLAND



240 MIDLAND RD
COVERED PATIO ADDITION

A/B D.
SHEET NO.
3



COA 18-53

ADDITIONAL AGENDA DETAILS:

A request to replace the existing vinyl siding with new vinyl siding and vinyl shake at 100 Kelly Road, Pinehurst, NC. The property can be identified as Moore County LRK# 22511. The applicant is TLD Construction and Home Repair, and the property owners are Valerie and Donald Mead.

ATTACHMENTS:

Description

☐ Staff Report

LOCAL HISTORIC DISTRICT APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

STAFF REPORT

COA: 18-53

100 Kelly Road

Parcel ID #22511

Siding, Shutters, Roof

PIN # 856205089560

APPLICANT:

Valerie & Donald Mead

PROPERTY OWNER(S):

Same

RECEIVED:

5-18-2018

MEETING DATE:

6-28-2018

ZONING DISTRICT:

R-10

LHD STATUS:

C

ADDITIONAL APPROVALS/PERMITS NEEDED: **None**

NATURE OF PROJECT:

Request to replace existing vinyl siding with PlyGem Ovation mastic Single 6.5" Traditional Beaded siding in white, with Cedar Discovery Hand split shake vinyl by PlyGem in white on the front gable. Shutters added are proposed 3 Board, Board and Batten wood-like shutters in Black with black iron hardware. Replace the asphalt shingle roof on both the garage and main house with Panel-Loc plus roof by K & R Metals in Charcoal.

FACTS

APPLICABLE SECTIONS OF STANDARDS AND GUIDELINES

STAFF ANALYSIS: 100 Kelly Road was originally sided with what appears to be asbestos or fiberboard siding that was covered with vinyl prior to the 2005 survey. It is currently gray with white trim, white vinyl windows, and a gray roof with black shutters. The owner did investigate the feasibility of restoring the original siding before proceeding to apply for replacement vinyl siding. The main house was built c. 1940 in the Minimal Traditional Style.

A. SECTION 1.6.4.7 MAJOR WORK - *Minor work items not approved by the Village Planner;*

1. This request is considered to be major work because it involves an item that **was/was not** approved by the Village Planner.

ROOF:

B. SECTION 2.8.2.5 ROOF STANDARDS - *Metal roofs are not appropriate on residential structures in the district unless material is copper or one of the following colors: weathered copper color, dark brown, dark bronze, or dark gray.*

1. The proposed roof color **is/is not** appropriate to the building and district and **is/is not** dark gray.

ARTIFICIAL SIDING STANDARDS:

Deteriorated architectural features of old houses should be repaired rather than replaced. If replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplications of original features, substantiated by pictures or samples. All original details should be retained if structurally feasible.

C. SECTION 2.10.2.1 ARTIFICIAL SIDING STANDARDS - *Corner boards for artificial siding must be exactly the same size as the existing corner boards.*

1. The proposed siding corner boards **is/is not** the same size as existing.

D. SECTION 2.10.2.4 ARTIFICIAL SIDING STANDARDS - *All detailing which is not flush with the siding or surface shall bear the same proportion after coverage as before coverage. All artificial siding shall be close to the original color of the building.*

1. The proposed siding detailing **is/is not** the same proportion as before coverage.

E. SECTION 2.10.2.9 ARTIFICIAL SIDING STANDARDS - *All artificial siding shall be close to the original color of the building.*

2. The proposed siding **is/is not** close to the original color of the building.

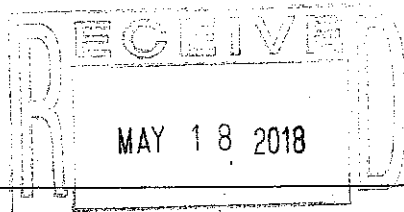
SHUTTERS

F. SECTION 2.15.1 & 2 SHUTTER GUIDELINES: - *Shutters should be louvered, wooden or have the appearance of wood and appropriately mounted.*

1. The proposed shutters **are/are not** louvered, wooden or have the appearance of wood and appropriately mounted.

G. SECTION 2.15.2 SHUTTER GUIDELINES: - *Shutter color should be appropriate with the house and meet the Village of Pinehurst color palette.*

2. The proposed shutter colors **are/are not** appropriate with the house and meet the Village of Pinehurst color palette.



Application for
Local Historic District
(revised 3/14/17)

This form is required to be submitted for most work proposed within the Local Historic District. Please note that other applications may be required in addition to this form. All major work projects require at least 10 sets of plans and applications for review. Sets may be reduced-size, as long as they are legible. The Historic Preservation Commission generally meets the 4th Thursday of each month; please refer to the schedule for any holiday changes. Submittals for the HPC are required at least 3 weeks prior to any meeting. Single family projects require review by Planning Staff first; non-residential projects require other technical staff review and possibly reviews by other boards. Refer to the *Local Historic District Standards and Guidelines* and the Pinehurst Development Ordinance for requirements.

Property Data

Property Owner(s): Valerie + Donald Mead Physical Address: 100 Kelly Rd Pinehurst

Business/Tenant Name (if applicable): _____

Mailing Address (if different): _____

Telephone: 919-761-4123 Zoning District: _____ Parcel ID#: _____

Applicant/Contractor Data

Name: TLD Construction + Home Repair Address: _____

Contractor License #: _____ Telephone: Cell 910-573-7278

E-mail Address (optional): woodworker910@yahoo.com

Description of Project:

Timothy Debord, Owner



EXTERIOR MATERIAL COLOR FORM

EXTERIOR	MATERIAL	COLOR
Front Elevation	Paint Cedar Discovery Hand Split Shake - White	- Front of house is Deck
Rear Elevation	Mastic Home Exterior	
Right Elevation	Ovation Mastic Home Exterior - White	
Left Elevation	Single 6 1/2" traditional Beaded	
Trim	Paint White	
Windows		
Chimney	Paint	
Foundation		
Front Door		
Shutters	Black - 3 panel wood shutters with black iron hardware	like same company as siding
Garage Door		
Roof	K+R metal Roof - Color Charcoal	House + Garage
Front Porch		
Deck		
Patio		
Sidewalk		
Sky Lights		
Driveway		

Signature: _____ Date: _____

****Office Use Only****

Project Type: Normal Maintenance Minor Work Major Work

Current Status: Contributing Non-contributing Vacant

COA# Date: Staff: HPC Mtg(s):

Other required approvals: _____

Conditions: _____

**Black**

STANDARD | PRIME

Trim in 29 ga only.

**Charcoal**

STANDARD | PRIME | ULTRA

**Pewter**

PRIME

Trim in 29ga only.

**Gray**

STANDARD | PRIME | ULTRA

**Alamo**

STANDARD | PRIME | ULTRA

Trim in 29 ga only.

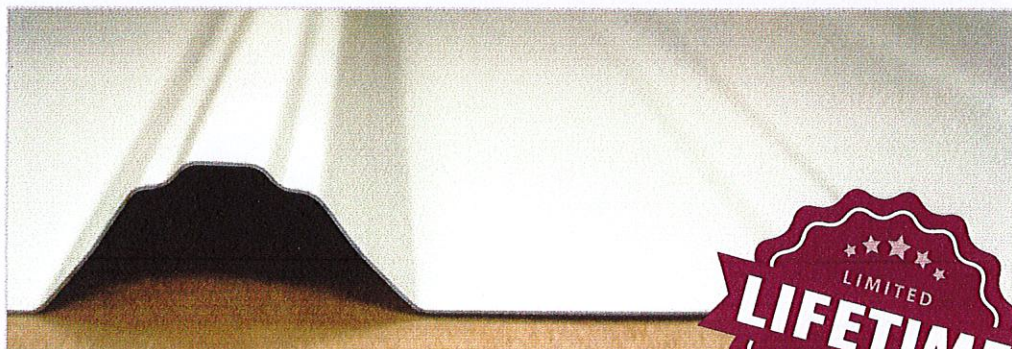
**Brilliant**

STANDARD | PRIME | ULTRA

*Choose CentralGuard for the best protection and a lifetime warranty*

Panel-Loc Plus™

Color Selection Tool



K & R Metals

7339 NC Hwy 705 - Eagle Springs, NC 27242

910-639-4655

*Contact your sales person for accurate pricing. † Color variation between orders is normal and not cause for rejection.
‡ Weathering and appearance variation, including color, sheen, and spangle, is common in non-painted materials and is not a cause for rejection. For consistent appearance, choose a paint-finished product.

Colors on this chart are close representations of actual metal color, limited by printing and viewing conditions.
Color matching is optimized for outdoor viewing.

CHRT_PLPN_180201

valspar®



Check our website to verify which colors meet ENERGY STAR® requirements for steep slope roofs.

**Hunter**

STANDARD | PRIME | ULTRA

**Colony**

PRIME

Trim in 26 ga only.

**Crimson**

PRIME | ULTRA

**Rustic**

STANDARD | PRIME | ULTRA

**Burgundy**

STANDARD | PRIME | ULTRA

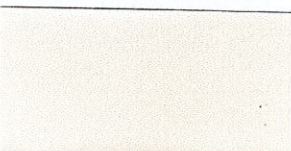
**Gallery**

PRIME | ULTRA

**Ocean**

PRIME | ULTRA

Trim in 29ga only.

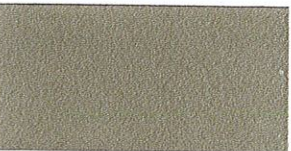
**Ivory**

PRIME

Trim in 29 ga only.

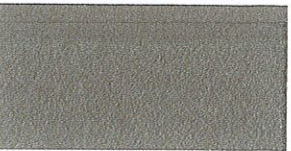
**Light Stone**

STANDARD | PRIME | ULTRA

**Desert**

PRIME

Trim in 26 ga only.

**Taupe**

STANDARD | PRIME | ULTRA

**PREMIUM
COLOR**

Fluoron® 70% PVDF

**Copper
Metallic*†**

PRIME



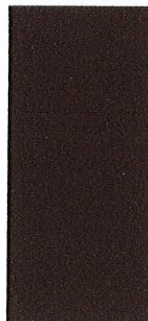
Clear acrylic coating

Galvalume®‡

PRIME | ULTRA

**Burnished
Slate**

STANDARD | PRIME | ULTRA

**Brown**

STANDARD | PRIME | ULTRA

**Tan**

STANDARD | PRIME | ULTRA





REPORT FOR 5/15/2018 - 6/13/2018
ADDITIONAL AGENDA DETAILS:

ATTACHMENTS:

Description

📎 Staff Approvals June 2018



PLANNING AND INSPECTIONS DEPARTMENT

TO: Pinehurst Historic Preservation Commission
FROM: Stephanie Goodrich, Senior Planner
DATE: 6/18/18
SUBJECT: Staff Approvals of Normal Maintenance and Minor Work

STAFF APPROVALS REPORT for LOCAL HISTORIC DISTRICT
June 28, 2018 MEETING
5/19/2018 to 6/14/2018

NORMAL MAINTENANCE

Application Date: 5/24/2018

Approval Date: 5/24/2018

Prop Owner: John Malzone

Address: 40 Campbell Road

LRK# 28144

Applicant: Alan Walters Construction

Request: Rebuild rear deck

Standards and Guidelines: 1.6.2.2

MINOR WORK – COA ISSUED

COA: 18-40

Application Date: 5/16/18

Approval Date: 5/16/18

Prop Owner: Village of Pinehurst

Address: 200 Beulah Hill Rd

LRK# 29515

Applicant: VOP Parks and Rec.

Request: Add a rail to the top of existing fencing to match

Standards and Guidelines: 1.6.3.7

COA: 18-41

Application Date: 5/1/18

Approval Date: 5/16/18

Prop Owner: Bob Nines

Address: 225 McCaskill Rd.

LRK# 23982

Applicant: Sandhill Signs

Request: Commercial Sign

Standards and Guidelines: 1.6.3.14

COA: 18-42

Application Date: 5/16/18

Approval Date: 5/21/18

Prop Owner: Robert Stangel

Address: 15 Shaw Road NW

LRK# 23713

Applicant: Pinehurst Homes

Request: Replace windows to match first story existing windows (vinyl for vinyl)

Standards and Guidelines: 1.6.3.20

COA: 18-43

Application Date: 5/22/18

Approval Date: 5/22/18 (amended 6/18/2018)

Prop Owner: Don Fuquay

Address: 110 Short Rd

LRK# 21823

Applicant: Same

Request: Repaint Exterior & Change shutters

Standards and Guidelines: 1.6.3.6

COA: 18-44

Application Date: 5/29/18

Approval Date: 5/30/18

Prop Owner: Robert Hammond

Address: 275 Dundee Rd

LRK# 30210

Applicant: Same

Request: Post and Rail Fence

Standards and Guidelines: 1.6.3.7

COA: 18-45

Application Date 5/31/18

Approval Date: 5/31/18

Prop Owner: JWS Properties

Address: 80 & 90 Magnolia

LRK# 26468

Applicant: Same

Request: Replace Doors with same and paint steps

Standards and Guidelines: 1.6.3.20

COA: 18-46

Application Date 5/29/18

Approval Date: 6/4/18

Prop Owner: Community Presbyterian Church

Address: 125 Everett Rd

LRK# 24664

Applicant: Same

Request: Arbor and brick wall/walkway

Standards and Guidelines: 1.6.3. 5; 12; 17

COA: 18-47

Application Date: 6/4/18

Approval Date: 6/5/18

Prop Owner: Stewart & Helen Mills

Address: 75 Shaw Rd SW

LRK# 21152

Applicant: Pinehurst Homes

Request: Replace Roofing Tiles with same

Standards and Guidelines: 1.6.3.1

COA: 18-48

Application Date: 6/5/18

Approval Date: 6/6/18

Prop Owner: Mark & Mary Edwards

Address: 20 Culdee Rd

LRK# 26358

Applicant: Mid-Carolina Construction

Request: Rear yard Accessory Structure

Standards and Guidelines: 1.6.3.17

COA: 18-49

Application Date: 6/5/18

Approval Date: 6/6/18

Prop Owner: Alison and Stewart Paul

Address: 50 Village Green Road E

LRK# 20098

Applicant: Bowness Custom Homes

Request: Re-roof with Cedar Shingles

Standards and Guidelines: 1.6.3.1

COA: 18-50

Application Date: 6/6/18

Approval Date: 6/8/18

Prop Owner: Clark & Marti Campbell

Address: 25 Woods Rd

LRK# 30492

Applicant: Same

Request: Picket fence in side and rear yards

Standards and Guidelines: 1.6.3.7

COA: 18-51

Application Date: 6/8/18

Approval Date: 6/11/18

Prop Owner: Don Fuquay/Caribou Partners

Address: 110 Short RD

LRK# 321825

Applicant: Central Carolina Roofing

Request: Reroof Main House, Guest House, and Garage

Standards and Guidelines: 1.6.3.1