



**Historic Preservation Commission
Agenda for Regular Meeting of May 28, 2026
Assembly Hall
395 Magnolia Road
Pinehurst, North Carolina
4:00 PM**

1. Call to Order
2. Approval of Minutes
 - A. Approval of 04-23-2026 HPC Regular Meeting Minutes
3. Public Hearing
 - A. COA-2026-00047 (75 McCaskill Rd W) - CONTINUED

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the removal of trees at 75 McCaskill Rd. W. The property is identified as Moore County PID Number 00025750. The property owner is William Fulton and the applicant is Juliano Belo of Eagle Home Renovations.
 - B. COA-2026-00065 (105 Magnolia Rd)

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for changing a door to a window on a detached garage at 105 Magnolia Rd. The property is identified as Moore County PID Number 00023821. The property owner is Richard Moore and the applicant is Mark Wesley Parson Design.
 - C. COA-2026-00070 (20 Shaw Rd SW)

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the construction of an addition, in-ground pool, and pergola at 20 Shaw Rd. SW. The property is identified as Moore County PID Number 00022224. The property owners are Joshua and Shannon Ammons and the applicant is Huntley Design Build.
 - D. COA-2026-00073 (204 Dundee Rd)

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the addition of a bathroom at 204 Dundee Rd. The property is identified as Moore County PID Number 00017853. The property owners are Mark and Pamela Markiewicz, and the applicant is Mark Markiewicz.
 - E. COA-2026-00078 (10 McLeod Rd)

The purpose of this public hearing is to consider a request for a Major Certificate of

Appropriateness within the Pinehurst Historic District for replacement of roofing from asphalt shingles to stone-coated metal roofing at 10 McLeod Rd. The property is identified as Moore County PID Number 00023674. The property owner is Anthony Neaverth and the applicant is Erie Construction Mid-West, LLC.

4. Review of Normal Maintenance and Minor Work items
 - A. Minor Work COA's Issued 4/15/2026 - 5/14/2026
5. Next Meeting Date
 - A. 06-25-2026 HPC Regular Meeting
6. Motion to Adjourn

Vision: The Village of Pinehurst is a charming, vibrant community which reflects our rich history and traditions.
Mission: Promote, enhance, and sustain the quality of life for residents, businesses, and visitors.
Values: Service, Initiative, Teamwork, and Improvement.



**Approval of 04-23-2026 HPC Regular Meeting Minutes
ADDITIONAL AGENDA DETAILS:**

FROM: Jeanann Dawson, Administrative Specialist
CC: Historic Preservation Commission;
DATE OF MEMO: 05/18/2026

MEMO DETAILS

ATTACHMENTS

1. 4-23-2026 HPC Draft Minutes -



**HISTORIC PRESERVATION COMMISSION
REGULAR MEETING
THURSDAY, April 23rd, 2026
ASSEMBLY HALL
395 MAGNOLIA ROAD
PINEHURST, NORTH CAROLINA
4:00 PM**

Members Present:

Joe Iverson, Chairman
Paul Roberts
Joe Rosario
Angelique Fabiani
Lollie Addleman
David Herring

Members Absent:

Justin Bramlage

Staff Present:

Maria Klein, Senior Planner
Jeanann Dawson, Administrative Specialist
Michael Mandeville, Senior Planner

Approximately eight members of the public were in attendance.

I. Call to Order

Mr. Iverson called the Regular Meeting to order at 4:00 PM, explained the purpose of the meeting, and asked each Commission member to introduce themselves. Mr. Iverson noted the absence of Mr. Bramlage, confirmed a quorum and introduced the staff in attendance.

II. Approval of Minutes

A. 03-26-2026 Regular Meeting Minutes

Ms. Addleman moved to approve the minutes of the March 26th, 2026, Regular Meeting. Seconded by Mr. Herring. Approved by a vote of 6-0.

Mr. Herring moved to open the Public Hearing. Seconded by Mr. Rosario. Approved by a vote of 6-0.

III. Public Hearing

Mr. Iverson explained the procedures of a quasi-judicial public hearing and asked Commission members to disclose any ex parte communications. All members confirmed visiting all sites and stated that they had no ex parte communications.

Mr. Mandeville and Ms. Klein were sworn into the Public Hearing.

A. COA-2026-00041 (30 Caddell Rd.)

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for construction of a new patio and roof overhang at 30 Caddell Rd. The property is identified as Moore County PID Number 00023675. The property owner is Tufts Cottage, LLC and the applicant is Casey Burton of Bedrock Construction.

Ms. Klein discussed the proposed work and submitted into evidence the Staff Report with attachments / exhibits, Presentation and Application and Applicant's materials / exhibits. Mr. Iverson accepted the materials submitted by Ms. Klein into evidence.

The Commission had no questions for Ms. Klein.

Casey Burton, applicant and representative of Bedrock Construction, was sworn into the Public Hearing. Ms. Burton concurred with Ms. Klein's presentation and noted there will be no change in impervious surface, they will only be adding a roof overhang.

Mr. Herring inquired about the roof drainage, the type of shingles to be used, and the color of gutters. Ms. Burton advised the structure would have a hip roof, though she was unsure of the exact pitch. She stated that the shingles would be architectural shingles to match the existing roof and that the gutters would be white.

Mr. Iverson asked whether any member of the audience wished to present testimony in favor of or opposition to the proposed Major Work. No one came forward.

Mr. Iverson closed the evidentiary portion of the Public Hearing.

Deliberation was not needed.

Mr. Herring moved that the Historic Preservation Commission approve a Certificate of Appropriateness (COA-2026-00041) and find that the proposed Major Work at 30 Caddell Rd. is consistent with the Historic District Standards and is deemed congruous with the Pinehurst Historic District based on the testimony given, the material submitted and the findings of fact. Seconded by Mr. Roberts. Approved by a vote of 6-0.

COA-2026-00047 (75 McCaskill Rd. W)

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the removal of trees at 75 McCaskill Rd. W. The property is identified as Moore County PID Number 00025750. The property owner is William Fulton and the applicant is Juliano Belo of Eagle Home Renovations.

Ms. Klein suggested moving the case to the end of the agenda due to the applicant's absence. The Commission agreed.

B. COA-2026-00048 (14 Village Ln.)

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for modifications to approved COA-2025-00025 at 14 Village Ln. The property is identified as Moore County PID Number 00028649. The property owners are Stephen and Deborah Beneduci and the applicant is Pinnacle Development Design/Build.

Ms. Klein discussed the proposed modifications of the approved COA-2025-0025 and submitted into evidence the Staff Report with attachments / exhibits, Presentation and Application and Applicant's materials / exhibits. Mr. Iverson accepted the materials submitted by Ms. Klein into evidence.

Mr. Roberts asked for confirmation that the work had already been completed prior to seeking approval from the Commission, whether it was performed by a licensed contractor, and whether any penalties would be imposed. Ms. Klein confirmed the work had been completed by a licensed contractor and stated that the Commission is not a punitive body.

Dean King, applicant and Pinnacle Development Design/Build representative, was sworn into the Public Hearing.

Mr. King explained that they were unable to obtain the approved windows. He added that the homeowners decided to screen in the porch after getting a cat and, due to grading concerns, chose to omit the side garage door.

Mr. Herring asked why approval had not been sought prior to making the change. Mr. King advised that the homeowners had been considering other possible revisions but ultimately decided against them and then became busy and forgot to request approval.

Mr. Iverson asked whether any member of the audience wished to present testimony in favor of or opposition to the proposed Major Work. No one came forward.

Mr. Iverson closed the evidentiary portion of the Public Hearing.

Ms. Fabiani wanted to note that even though the modifications are in alignment with the standards, the failure to seek approval prior to making the changes is problematic.

Ms. Addleman moved that the Historic Preservation Commission approve a Certificate of Appropriateness (COA-2026-00048) and find that the proposed Major Work at 14 Village Ln. is consistent with the Historic District Standards and is deemed congruous with the Pinehurst Historic District based on the

testimony given, the material submitted and the findings of fact. Seconded by Ms. Fabiani. Approved by a vote of 6-0.

C. COA-2026-00051 (120 Medlin Rd.)

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the elimination or addition of windows and/or doors at 120 Medlin Rd. The property is identified as Moore County PID Number 20030328. The property owner is Shawn and Grace Driesbaugh, and the applicant is Latitude Builders.

Mr. Mandeville discussed the proposed work and submitted into evidence the Staff Report with attachments / exhibits, Presentation and Application and Applicant's materials / exhibits. Mr. Iverson accepted the materials submitted by Mr. Mandeville into evidence.

Mr. Herring referred to the lower elevation drawing, noting that the window on the right differed from the corresponding window in the other elevation drawing. Mr. Mandeville advised he would let the applicant provide clarification.

The Commission had no further questions for Mr. Mandeville.

Tyler Cook, applicant and Latitude Builders, LLC representative, was sworn into the Public Hearing.

Mr. Cook explained that the window proposed for removal is currently located within the shower and that its removal would improve functionality. He also clarified Mr. Herring's questions regarding the differences in the drawings, noting that the discrepancy was an error and that the other window exists and matches.

Mr. Iverson asked whether any member of the audience wished to present testimony in favor of or opposition to the proposed Major Work. No one came forward.

Mr. Iverson closed the evidentiary portion of the Public Hearing.

Deliberation was not needed.

Mr. Roberts moved that the Historic Preservation Commission approve a Certificate of Appropriateness (COA-2026-00051) and find that the proposed Major Work at 120 Medlin Rd. is consistent with the Historic District Standards and is deemed congruous with the Pinehurst Historic District based on the testimony given, the material submitted and the findings of fact. Seconded by Mr. Herring. Approved by a vote of 6-0.

D. COA-2026-00055 (300 Magnolia Rd.)

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the replacement of

roofing with a different material or style and replacement of architectural details at 300 Magnolia Rd. The property is identified as Moore County PID Number 00025797. The property owner is Resorts of Pinehurst, Inc. and the applicant is Pinehurst, LLC.

Mr. Mandeville discussed the proposed work and submitted into evidence the Staff Report with attachments / exhibits, Presentation and Application and Applicant's materials / exhibits. Mr. Iverson accepted the materials submitted by Mr. Mandeville into evidence.

The Commission had no questions for Mr. Mandeville.

Calvin Burkley, Pinehurst, LLC representative, was sworn into the Public Hearing.

Mr. Burkley concurred with Mr. Mandeville's presentation. Mr. Burkley explained the knee wall will be raised approximately eighteen inches and will match the existing siding.

Julia Blaze, Cline Design, was sworn into the Public Hearing.

Ms. Blaze provided an overview of the proposed work, explaining that the screening will fit within the existing space and will be retractable. She also noted that replacing the skylight will make the area more efficient and allow it to be used year-round.

Mr. Iverson asked whether any member of the audience wished to present testimony in favor of or opposition to the proposed Major Work. No one came forward.

Mr. Iverson closed the evidentiary portion of the Public Hearing.

Deliberation was not needed.

Mr. Roberts moved that the Historic Preservation Commission approve a Certificate of Appropriateness (COA-2026-00055) and find that the proposed Major Work at 300 Magnolia Rd. is consistent with the Historic District Standards and is deemed congruous with the Pinehurst Historic District based on the testimony given, the material submitted and the findings of fact. Seconded by Ms. Addleman. Approved by a vote of 6-0.

E. COA-2026-00047 (75 McCaskill Rd. W)

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the removal of trees at 75 McCaskill Rd. W. The property is identified as Moore County PID Number 00025750. The property owner is William Fulton and the applicant is Juliano Belo of Eagle Home Renovations.

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the removal of trees at 75 McCaskill Rd. W. The property is identified as Moore County PID Number 00025750. The property owner is William Fulton and the applicant is Juliano Belo of Eagle Home Renovations.

Ms. Klein discussed the proposed work and submitted into evidence the Staff Report with attachments / exhibits, Presentation and Application and Applicant's materials / exhibits. Mr. Iverson accepted the materials submitted by Ms. Klein into evidence.

Mr. Herring asked about the health of the trees to be removed. Ms. Klein responded that, as far as she knew, they are healthy.

Juliano Belo, applicant and Eagle Home Renovations representative, was sworn into the Public Hearing.

Mr. Belo concurred with Ms. Klein's presentation, had no additional comments, and indicated he would answer any questions.

Mr. Herring questioned Mr. Belo if any changes were going to be made to the driveway and the reason for removal. Mr. Belo advised there are no changes being made to the driveway and explained that the trees are too close to the driveway, making parking and access to the garage difficult.

Commissioners expressed concern about losing a significant portion of the property's tree canopy and emphasized the need for a replacement plan. The applicant said they intend to redesign the front landscaping, including planting grass and adding a few new trees, but could not specify the types or commit to a detailed plan at the time.

The Commissioners offered a continuance to the applicant and explained the process. Initially, the applicant declined but, after further discussion, agreed to a continuance and stated he would provide a landscaping plan at the next hearing.

Mr. Iverson asked whether any member of the audience wished to present testimony in favor of or opposition to the proposed Major Work. No one came forward.

Mr. Rosario moved that the Historic Preservation Commission continue the hearing for COA-2026-00047 to the next meeting, May 28th, 2026, at 4:00 PM. Seconded by Mr. Herring. Approved by a vote of 6-0.

IV. Review of Normal Maintenance and Minor Work Items
A. Minor Work COA's Issued 03-15-2026 - 04-14-2026

V. **Next Meeting Date**
05-28-2026 Regular Meeting

VI. **Motion to Adjourn**

Mr. Herring moved to adjourn the meeting at 4:54 PM. Seconded by Mr. Roberts
Approved by a vote of 6-0.

Respectfully Submitted,

Jeanann Dawson
Clerk to the Board &
Planning Administrative Specialist
Village of Pinehurst

A recording of this meeting is located on the Village website: www.vopnc.org

Vision: The Village of Pinehurst is a charming, vibrant community, which reflects our rich history and traditions.

Mission: Promote, enhance, and sustain the quality of life for residents, businesses, and visitors.

Values: Service, Initiative, Teamwork, and Improvement



COA-2026-00047 (75 McCaskill Rd W) - CONTINUED

ADDITIONAL AGENDA DETAILS:

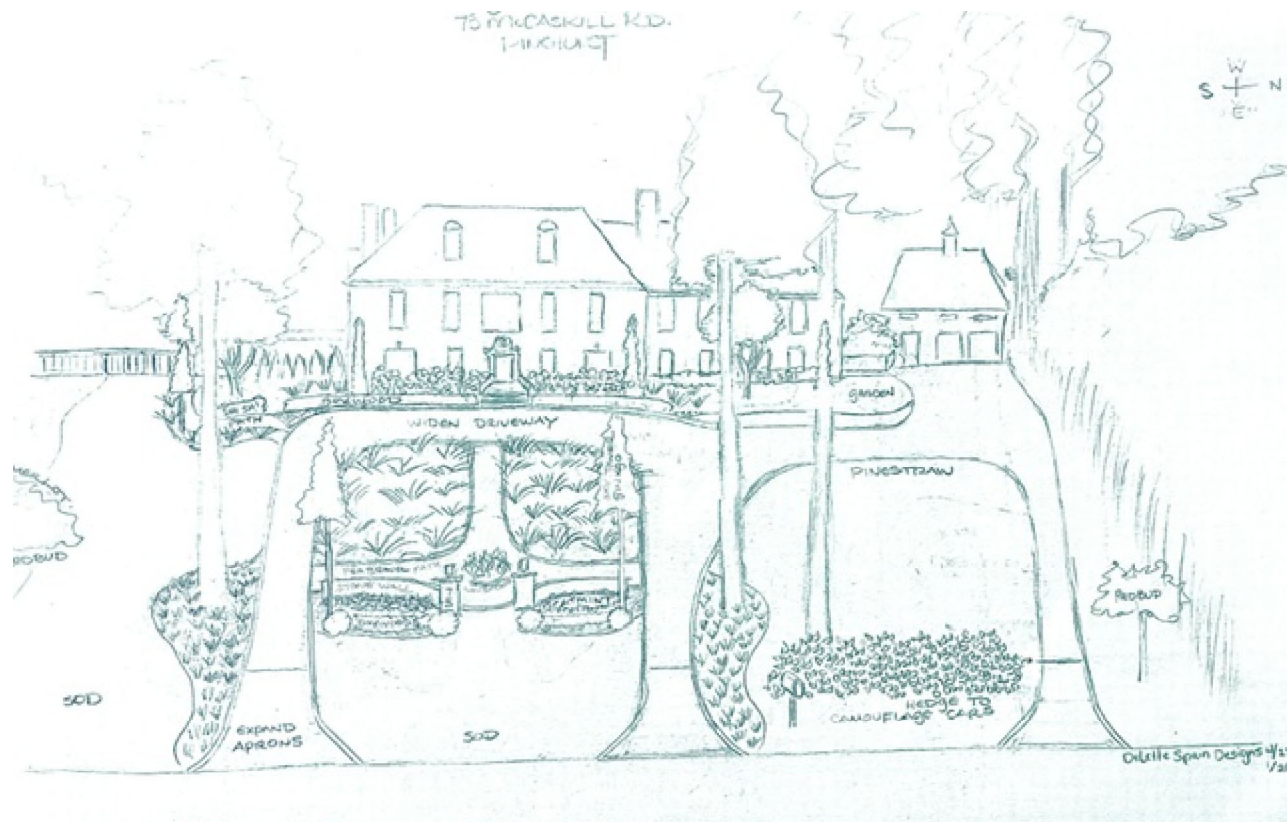
The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the removal of trees at 75 McCaskill Rd. W. The property is identified as Moore County PID Number 00025750. The property owner is William Fulton and the applicant is Juliano Belo of Eagle Home Renovations.

FROM: Maria Klein, Senior Planner
CC: Historic Preservation Commission;
DATE OF MEMO: 05/15/2026

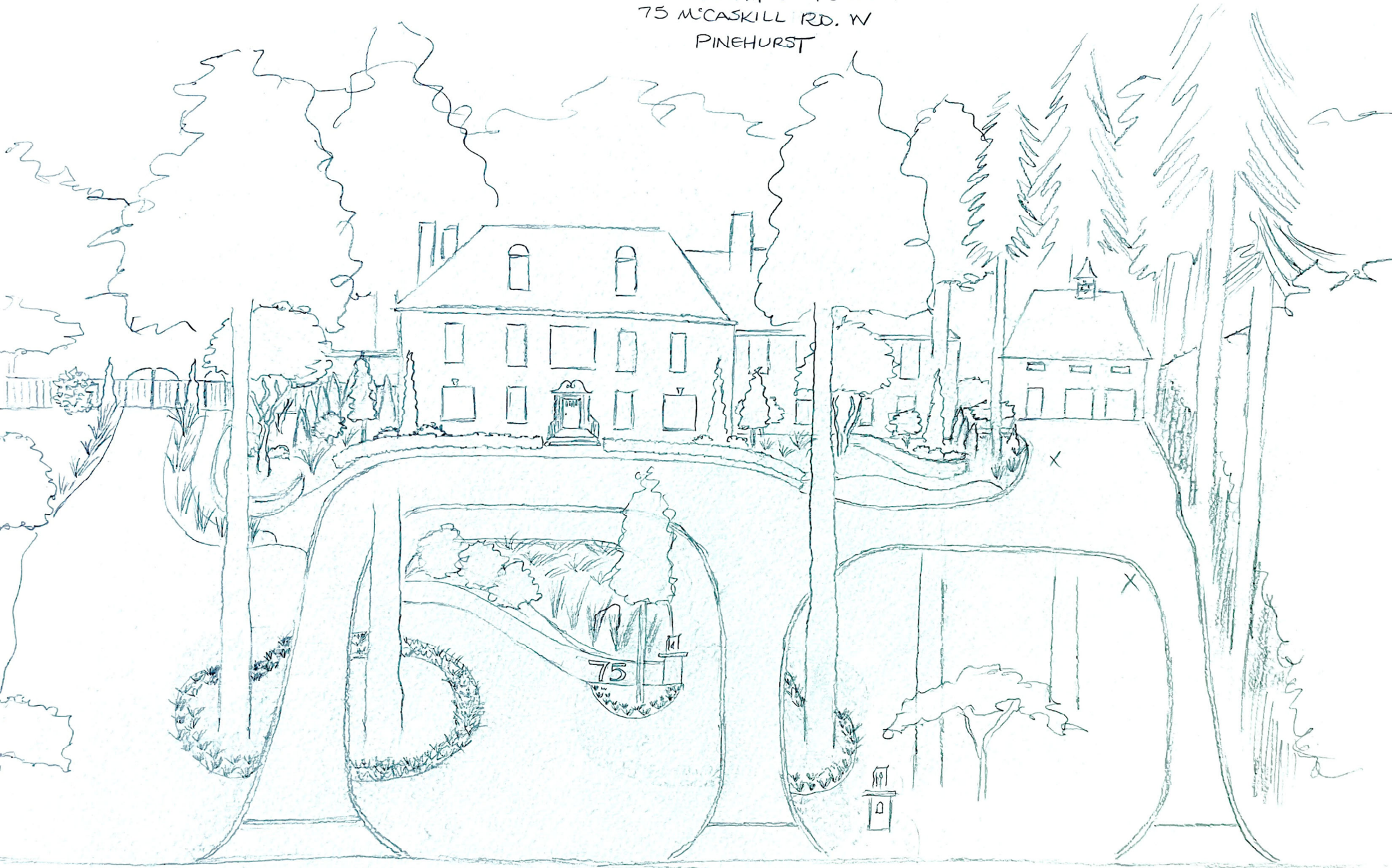
MEMO DETAILS

ATTACHMENTS

1. New Applicant Exhibit A-3 Landscape Sketch
2. A-4
3. Staff Exhibits
4. Applicant Exhibits



WILL and JENNIFER FULTON
75 MCASKILL RD. W
PINEHURST



WILL and JENNIFER FULTON
75 McCASKILL RD. W.
PINEHURST

W
S + N
E



WIDEN DRIVEWAY TO 16'

EXTEND ALL 3 APRONS TO 22'

DELETTE SPAIN DESIGNS 4/25, 4/26, 4/26

Fulton's front yard plant list:

Trees: (15 gallon and over)(Painted on Design)

- 1 Purple Plum
- 1 Pink Dogwood
- 2 Forest Pansy Redbud
- 1 Little Gem Magnolia
- 2 Vulcan Magnolias
- 3 Taylor Junipers
- 10 Emerald Green Arborvitae
- 2 Degroots Spire
- 3 Forever Goldy Arborvitae

Shrubs: (5 gallon and over)

- 8 White Wedding Hydrangea
- 8 Crimson Fire Loropetalums
- 3 Ligustrums
- 70 Green Velvet Boxwood

Grasses: (3 gallon)

- 6 Morning Light Miscanthus
- 16 Karl Foerster
- 40 Cassian Fountaingrass
- 5 flats Liriope
- 5 flats Dwarf Mondo Grass
- 10 Northwind Grass

X- 2 Pine Trees that need to be removed for safety and ability to expand the driveway to 16' by getting rid of pinch points



PLANNING AND INSPECTIONS DEPARTMENT STAFF REPORT

To: Historic Preservation Commission
From: Maria Klein, Senior Planner
CC: Michael Mandeville, Senior Planner
 Jeanann Dawson, Administrative Specialist
Date: April 15, 2026
Subject: Major COA Request 75 McCaskill Rd. W

Applicant:	Juliano Belo, Eagle Home Renovations
Owners:	William Fulton
Property Location:	75 McCaskill Rd. W
Land Use:	Single Family Residential
PID#	00025750
COA#:	2026-00047

Request and Background:

The applicant requests a Certificate of Appropriateness (COA) for the removal of trees at 75 McCaskill Rd. W. The property is further identified as Moore County PID Number 00025750. The primary structure was built in 1929 and the property is +/- 1.214 acres in size.

The applicant is requesting to remove 2 trees that are street facing and greater than 12" in diameter at breast height.

The public hearing was noticed in accordance with the Pinehurst Development Ordinance and NCGS 160D-406.

Standards of Review

Per the adopted Historic District Standards, removal of healthy trees twelve (12) inches and larger in diameter at breast height (DBH) along the street side of a property that are not located within the right-of-way is considered Major Work requiring review by the Historic Preservation Commission for issuance of a Certificate of Appropriateness.

The Commission shall not approve a Certificate of Appropriateness until the evidence presented meets the standards within the Historic District Standards and/or is determined to satisfy the

burden of proof that the proposed request is congruous with the Historic District.

Applicable Standards:

VII. SITE FEATURES

C. LANDSCAPING AND VEGETATION

1. SECTION VII.C.4 - Removal of trees twelve (12) inches in diameter at breast height (DBH) and larger **must** not unreasonably compromise the existing tree canopy and the historic appearance of the landscape.

Staff Comments:

The applicant has submitted an application and provided additional documentation in an attempt to satisfy the burden of proof. The Commission will need to determine if the removal of the trees is congruous with the Historic District and meets the Historic District Standards.



HISTORY, CHARM, AND SOUTHERN HOSPITALITY _____

April 8, 2026

Dear Property Owner(s),

The Village of Pinehurst Historic Preservation Commission will hold a public hearing on:

Thursday, April 23rd, 2026
 At 4:00 p.m.
 At Pinehurst Village Assembly Hall
 395 Magnolia Rd. Pinehurst, NC 28374

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the removal of trees at 75 McCaskill Rd. W. The property is identified as Moore County PID Number 00025750. The property owner is William Fulton and the applicant is Juliano Belo of Eagle Home Renovations.

As the owner of said property, an adjacent property owner or as the applicant, you are receiving formal notification of this Public Hearing. Information on this request is available for public review at Village Hall, 395 Magnolia Road, Pinehurst, North Carolina during regular business hours. Information on the hearing will be posted online the week of the meeting at: <https://pinehurstnc.portal.civicclerk.com/>.

The meeting will be streamed in real-time on the Village's website, at www.vopnc.org/live.

The applicant, the local government, and any person who would have standing to appeal the decision under PDO Section 4.3.1.F.5 shall have the right to participate as a party at the evidentiary hearing. Other witnesses may present competent, material, and substantial evidence that is not repetitive as allowed by the board. All persons wishing to be heard should be present during the public hearing so that the facts presented are made a matter of record.

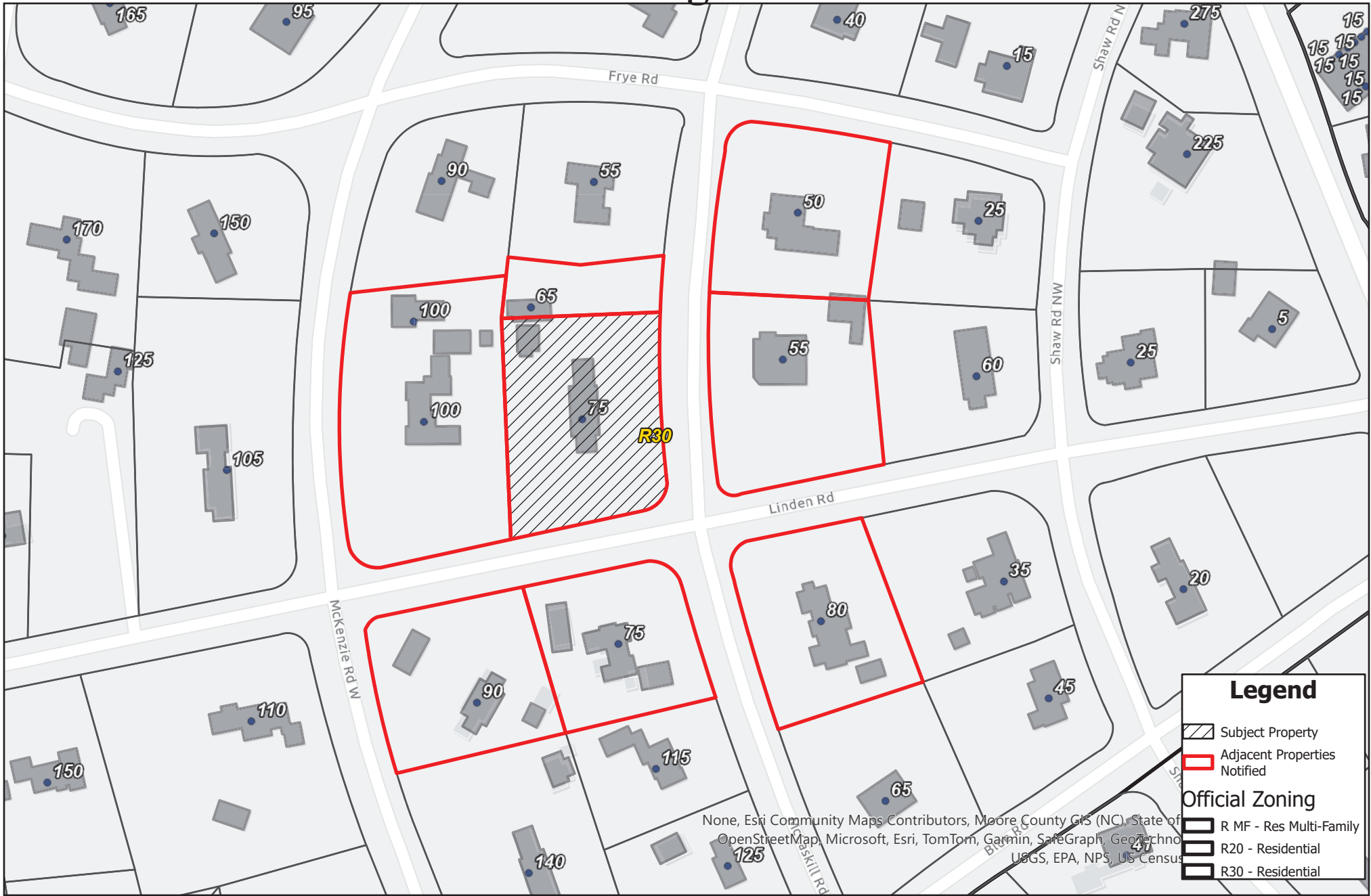
For more information, please call (910) 295-1900.

PLANNING & INSPECTIONS

395 Magnolia Road • Pinehurst, NC 28374 • Telephone (910) 295-2581 • Fax (910) 295-1396 • www.vopnc.org

Public Hearing Notification

EXHIBIT S-1.4



None, Esri Community Maps Contributors, Moore County GIS (NC), State of North Carolina, OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechno, USGS, EPA, NPS, US Census



Village of Pinehurst Disclaimer: It is understood that the data contained herein is subject to constant change and that its accuracy cannot be guaranteed. The maps have been created from information provided by various government and private sources at various levels of accuracy. The data is provided to you "as is" with no warranty, representation or guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided herein. It is the responsibility of the user of the data to be aware of the data's limitations and to utilize the data in an appropriate manner. Any resale of this data is strictly prohibited in accordance with North Carolina General Statutes 132-10. Grid is based on North Carolina State Plane Coordinate System NAD83 (feet).

3/25/2026

April 23, 2026

Historic Preservation Commission 75 McCaskill Rd. W Major COA Request



PATE, KATHARINE F
90 LINDEN ROAD
PINEHURST,NC,28374

GOUDARZI, KAMRAN
110 SEAPATH EST
WRIGHTSVILLE BEACH,NC,28480-1964

POTYNSKY, JOHN DAVID
100 W MCKENZIE RD
PINEHURST,NC,28374

THE ARCHES, LLC
PO BOX 689
SOUTHERN PINES,NC,28388

HAYES, CARL S
55 LINDEN ROAD
PINEHURST,NC,28374

FULTON, WILLIAM
7111 FAIRWAY DR
PALM BEACH GARDENS,FL,33418

JOHAN HOLDINGS, LLC
75 LINDEN ROAD
PINEHURST,NC,28374

YOUNGCLAUS, LISA B TRUSTEE
50 MCCASKILL RD W
PINEHURST,NC,28374-9025

COA-2026-00047 - Trees - 75 McCaskill Rd W

Menu Help

File Date: [03/14/2026](#)

Application Status: [In Review](#)

Application Type: [Historic Certificate of Appropriateness - Major](#)

Application Detail: [Detail](#)

Description of Work: [To Whom It May Concern](#), This letter is a formal request for approval to remove several trees located on the subject property. The homeowner has reported that the current placement and condition of these trees significantly interfere with the safe and practical use of the property. Due to their location, the trees create ongoing safety concerns and obstruct normal access and maneuvering within the property. The homeowner has indicated that vehicles and equipment have already made contact with the trees on multiple occasions, resulting in minor accidents and increasing the risk of further damage or potential injury. Because of these repeated incidents and the negative impact on the daily use of the property, the homeowner respectfully requests authorization to remove the affected trees in order to improve safety, accessibility, and overall functionality of the property. All work, if approved, will be performed in accordance with local regulations and guidelines established by the Town and/or HOA. Thank you for your consideration. Sincerely, Juliano Eagle Home Renovations LLC

Application Name: [Trees - 75 McCaskill Rd W](#)

Address: [75 W McCaskill Rd, Pinehurst, NC 28374](#)

Owner Name: [William Fulton](#)

Owner Address: [75 McCaskill RD W, Pinehurst, NC 28374](#)

Parcel No: [25750](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	Juliano Belo	Eagle Home Reno...	Applicant	Business, 1021 Juniper...	Active
	Juliano Belo	Eagle Home Reno...	Business Owner	Business, 1021 Juniper...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$500.00](#)

Total Fee Invoiced: [\\$500.00](#)

Balance: [\\$0.00](#)

Custom Fields: GENERAL INFORMATION

Description of Changes to the Structure
[To Whom It May Concern](#),

Type of Work
▲ [Alteration](#)

Existing Use
[Single Family Medium Density](#)

[This letter is a formal request for approval to remove several trees located on the subject property. The homeowner has reported that the current placement and condition of these trees significantly interfere with the safe and practical use of the property.](#)

[Due to their location, the trees create ongoing safety concerns and obstruct normal access and maneuvering within the property.](#)

Proposed Use
[Single Family Medium Density](#)
COA Number
-

Includes Demolition?
[No](#)
Conditions of COA (If Any)
-

Includes Tree Removal?
[Yes](#)

PERMIT DATES

Application Expiration Date
-

Permit Issued Date
-

Permit Expiration Date
-

FRONT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

REAR ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

RIGHT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

LEFT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

TRIM

Existing Material Existing Color Proposed Material Proposed Color

WINDOWS

Existing Material Existing Color Proposed Material Proposed Color

CHIMNEY

Existing Material Existing Color Proposed Material Proposed Color

FOUNDATION

Existing Material Existing Color Proposed Material Proposed Color

FRONT DOOR

Existing Material Existing Color Proposed Material Proposed Color

SHUTTERS

Existing Material Existing Color Proposed Material Proposed Color

GARAGE DOOR

Existing Material Existing Color Proposed Material Proposed Color

ROOF

Existing Material Existing Color Proposed Material Proposed Color

ROOF EXHAUST VENTS

Existing Material Existing Color Proposed Material Proposed Color

FRONT PORCH

Existing Material Existing Color Proposed Material Proposed Color

DECK

Existing Material Existing Color Proposed Material Proposed Color

PATIO

Existing Material Existing Color Proposed Material Proposed Color

SIDEWALK

Existing Material Existing Color Proposed Material Proposed Color

SKY LIGHTS

Existing Material Existing Color Proposed Material Proposed Color

DRIVEWAY

Existing Material Existing Color Proposed Material Proposed Color

HOUSE NUMBER

Existing Material Existing Color Proposed Material Proposed Color

OTHER

Existing Material Existing Color Proposed Material Proposed Color

Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Acceptance		Accepted	03/16/2026	Maria Klein
	Review for Completeness		Application ...	03/16/2026	Maria Klein
	Review Distribution		In Review	03/16/2026	Maria Klein
	Historic Review				
	Planning Review				
	Review Consolidation				
	HPC Public Hearing Notice				
	Property Owner Notific...				
	Staff Report				
	HPC Hearing				
	COA Issued				
	Inspection				

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
Documents:	File Name	Document Group	Category	Description	Type	Document Status Document Status Date
	IMG_8312.jpeg	PLN_HIST	Photo	Tree 2	image/jpeg	Uploaded 03/14/2026
	IMG_8313.jpeg	PLN_HIST	Photo	Tree 1	image/jpeg	Uploaded 03/14/2026
	Show all					

Application Comments:	View ID	Comment	Date

Initiated by Product: ACA

Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments

Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments

Required Inspections:







COA-2026-00065 (105 Magnolia Rd)

ADDITIONAL AGENDA DETAILS:

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for changing a door to a window on a detached garage at 105 Magnolia Rd. The property is identified as Moore County PID Number 00023821. The property owner is Richard Moore and the applicant is Mark Wesley Parson Design.

FROM: Maria Klein, Senior Planner
CC: Historic Preservation Commission;
DATE OF MEMO: 05/15/2026

MEMO DETAILS

ATTACHMENTS

1. Staff Exhibits
2. Applicant Exhibits



PLANNING AND INSPECTIONS DEPARTMENT STAFF REPORT

To: Historic Preservation Commission
From: Maria Klein, Senior Planner
CC: Michael Mandeville, Senior Planner
 Jeanann Dawson, Administrative Specialist
Date: May 20, 2026
Subject: Major COA Request 105 Magnolia Rd.

Applicant:	Mark Wesley Parson Design
Owners:	Richard Moore
Property Location:	105 Magnolia Rd.
Land Use:	Single Family Residential
PID#	00023821
COA#:	2026-00065

Request and Background:

The applicant requests a Certificate of Appropriateness (COA) for changing a door to a window on a detached garage at 105 Magnolia Rd. The property is further identified as Moore County PID Number 00023821. The primary structure was built in 1899 and the property is +/- 0.355 acres in size.

The applicant is proposing to eliminate a set of French doors on a detached garage and replace them with a window. All materials and colors will match what is existing.

The public hearing was noticed in accordance with the Pinehurst Development Ordinance and NCGS 160D-406.

Standards of Review

Per the adopted Historic District Standards, eliminating or adding windows and/or doors is considered Major Work requiring review by the Historic Preservation Commission for issuance of a Certificate of Appropriateness.

The Commission shall not approve a Certificate of Appropriateness until the evidence presented meets the standards within the Historic District Standards and/or is determined to satisfy the

burden of proof that the proposed request is congruous with the Historic District.

Applicable Standards:

III. CHANGES TO EXISTING RESIDENCES

C. WINDOWS AND DOORS

1. SECTION III.C.1 - Adding new windows and door openings or altering or filling existing openings *should* not compromise the architectural character of the structure and **must** be congruous with the Pinehurst Historic District.
2. SECTION III.C.2 - Windows and doors that contribute to the overall historic form and character of a structure, as well as materials, details, and features of the windows and doors that contribute to the character of the structure *should* be retained and preserved.
3. SECTION III.C.7 - The number and size of panes, mullions, and muntins, and all window and door hardware *should* be compatible with those of the existing windows and doors.

Staff Comments:

The applicant has submitted an application and provided additional documentation in an attempt to satisfy the burden of proof. The Commission will need to determine if the elimination of the French doors and addition of the window is congruous with the Historic District and meets the Historic District Standards.



HISTORY, CHARM, AND SOUTHERN HOSPITALITY _____

May 13, 2026

Dear Property Owner(s),

The Village of Pinehurst Historic Preservation Commission will hold a public hearing on:

Thursday, May 28th, 2026
At 4:00 p.m.
At Pinehurst Village Assembly Hall
395 Magnolia Rd. Pinehurst, NC 28374

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for changing a door to a window on a detached garage at 105 Magnolia Rd. The property is identified as Moore County PID Number 00023821. The property owner is Richard Moore and the applicant is Mark Wesley Parson Design.

As the owner of said property, an adjacent property owner or as the applicant, you are receiving formal notification of this Public Hearing. Information on this request is available for public review at Village Hall, 395 Magnolia Road, Pinehurst, North Carolina during regular business hours. Information on the hearing will be posted online the week of the meeting at: <https://pinehurstnc.portal.civicclerk.com/>.

The meeting will be streamed in real-time on the Village's website, at www.vopnc.org/live.

The applicant, the local government, and any person who would have standing to appeal the decision under PDO Section 4.3.1.F.5 shall have the right to participate as a party at the evidentiary hearing. Other witnesses may present competent, material, and substantial evidence that is not repetitive as allowed by the board. All persons wishing to be heard should be present during the public hearing so that the facts presented are made a matter of record.

For more information, please call (910) 295-1900.

PLANNING & INSPECTIONS

395 Magnolia Road • Pinehurst, NC 28374 • Telephone (910) 295-2581 • Fax (910) 295-1396 • www.vopnc.org

WHITFIELD, LYNDA H
2802 SE DUNE DR., APT 1407
STUART,FL,34996

MOORE, RICHARD H
1917 LEWIS CIRCLE
RALEIGH,NC,27608

PINEHURST NO. VII, LLC
80 CAROLINA VISTA
PINEHURST,NC,28374

PINEHURST SPECIALTY RETAIL LLC
C/O 212 LLC
SOUTHERN PINES,NC,28387

CLAUDE SMITH ENTERPRISES, INC
1227 ROCKINGHAM ROAD
ROCKINGHAM,NC,28379

GOODING, ROBERT H & NANCY W
3417 HORSESHOE BEND
RALEIGH,NC,27613

JWS PROPERTY HOLDINGS, LLC
345 INDIAN TRAIL DR
SOUTHERN PINES,NC,28387

DONALD, LINDA L
PO BOX 2335
PINEHURST,NC,28370-2335

120 MARKET SQUARE, LLC
PO BOX 249
SOUTHERN PINES,NC,28388

COA-2026-00065 - Moore Residence: Carriage house home office

Menu Help

File Date: [04/17/2026](#)

Application Status: [In Review](#)

Application Type: [Historic Certificate of Appropriateness - Major](#)

Application Detail: [Detail](#)

Description of Work: [Renovation of existing carriage house to home office with sitting area, kitchenette and full bathroom. No changes will be made to existing footprint. Change to front elevation: One of the existing French door and side lights will be removed and replaced with a single window in new bathroom. All new materials and finishes to match existing.](#)

Application Name: [Moore Residence: Carriage house home office](#)

Address: [105 Magnolia Rd, Pinehurst, NC 28374](#)

Owner Name: [Richard H Moore](#)

Owner Address: [105 Magnolia Rd, Pinehurst, NC 28374](#)

Parcel No: [00023821](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	Mark Wesley Parson Design	Mark Wesley Par...	Applicant	Mailing, 180 Everette ...	Active
	Mark Wesley Parson Design	Mark Wesley Par...	Applicant	Mailing, 180 Everette ...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$500.00](#)

Total Fee Invoiced: [\\$500.00](#)

Balance: [\\$0.00](#)

Custom Fields: GENERAL INFORMATION

Description of Changes to the Structure Change to front elevation: One existing French door and sidelights Alteration to be removed and replaced with single window in new bathroom.	Type of Work Alteration	Existing Use Single Family Medium Density
Proposed Use Single Family Medium Density	Includes Demolition? No	Includes Tree Removal? No
COA Number -	Conditions of COA (If Any) -	

PERMIT DATES

Application Expiration Date	Permit Issued Date	Permit Expiration Date
-	-	-

FRONT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

REAR ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

RIGHT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

LEFT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

TRIM

Existing Material Existing Color Proposed Material Proposed Color

WINDOWS

Existing Material Existing Color Proposed Material Proposed Color

CHIMNEY

Existing Material Existing Color Proposed Material Proposed Color

FOUNDATION

Existing Material Existing Color Proposed Material Proposed Color

FRONT DOOR

Existing Material Existing Color Proposed Material Proposed Color

SHUTTERS

Existing Material Existing Color Proposed Material Proposed Color

GARAGE DOOR

Existing Material Existing Color Proposed Material Proposed Color

ROOF

Existing Material Existing Color Proposed Material Proposed Color

ROOF EXHAUST VENTS

Existing Material Existing Color Proposed Material Proposed Color

FRONT PORCH

Existing Material Existing Color Proposed Material Proposed Color

DECK

Existing Material Existing Color Proposed Material Proposed Color

PATIO

Existing Material Existing Color Proposed Material Proposed Color

SIDEWALK

Existing Material Existing Color Proposed Material Proposed Color

SKY LIGHTS

Existing Material Existing Color Proposed Material Proposed Color

DRIVEWAY

Existing Material Existing Color Proposed Material Proposed Color

HOUSE NUMBER

Existing Material Existing Color Proposed Material Proposed Color

OTHER

Existing Material Existing Color Proposed Material Proposed Color

Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Acceptance		Accepted	04/20/2026	Maria Klein
	Review for Completeness		In Progress	04/20/2026	Maria Klein
	Review Distribution				
	Historic Review				
	Planning Review				
	Review Consolidation				
	HPC Public Hearing Notice				
	Property Owner Notific...				
	Staff Report				
	HPC Hearing				
	COA Issued				
	Inspection				

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
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Documents:	File Name	Document Group	Category	Description	Type	Document Status	Document Status Date
	Moore Plans & Elevatio...	PLN_HIST	Building Elevat...	- Exterior Elevatio...	application/pdf	Uploaded	04/17/2026
	Moore Site Plan.pdf	PLN_HIST	Site Plan	Site plan/original ...	application/pdf	Uploaded	04/17/2026
	Show all						

Application Comments:	View ID	Comment	Date
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Initiated by Product: ACA

Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments
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Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments
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Required Inspections:

NOTES

1. WORK SHALL CONFORM TO LOCAL BUILDING CODES.
2. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY DISCREPANCY.
3. THE CONTRACTOR SHALL VERIFY ALL INFORMATION ON DRAWINGS.
4. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON THE SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES. ALL REQUIRED DRAWINGS MUST BE PRESENT ON SITE FOR BUILDING INSPECTORS.
5. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO TRANSMIT ALL CODE-RELATED AND/OR BUILDING INSPECTION DEPARTMENT REQUIREMENTS TO THE APPROPRIATE CONTRACTORS OR SUBCONTRACTORS.
6. ALL PRODUCTS AND MATERIALS SHALL BE INSTALLED AND/OR CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS AND INDUSTRY STANDARDS.
7. THE CONTRACTOR, UPON ACCEPTANCE AND APPROVAL OF THESE DRAWINGS, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE DRAWINGS.

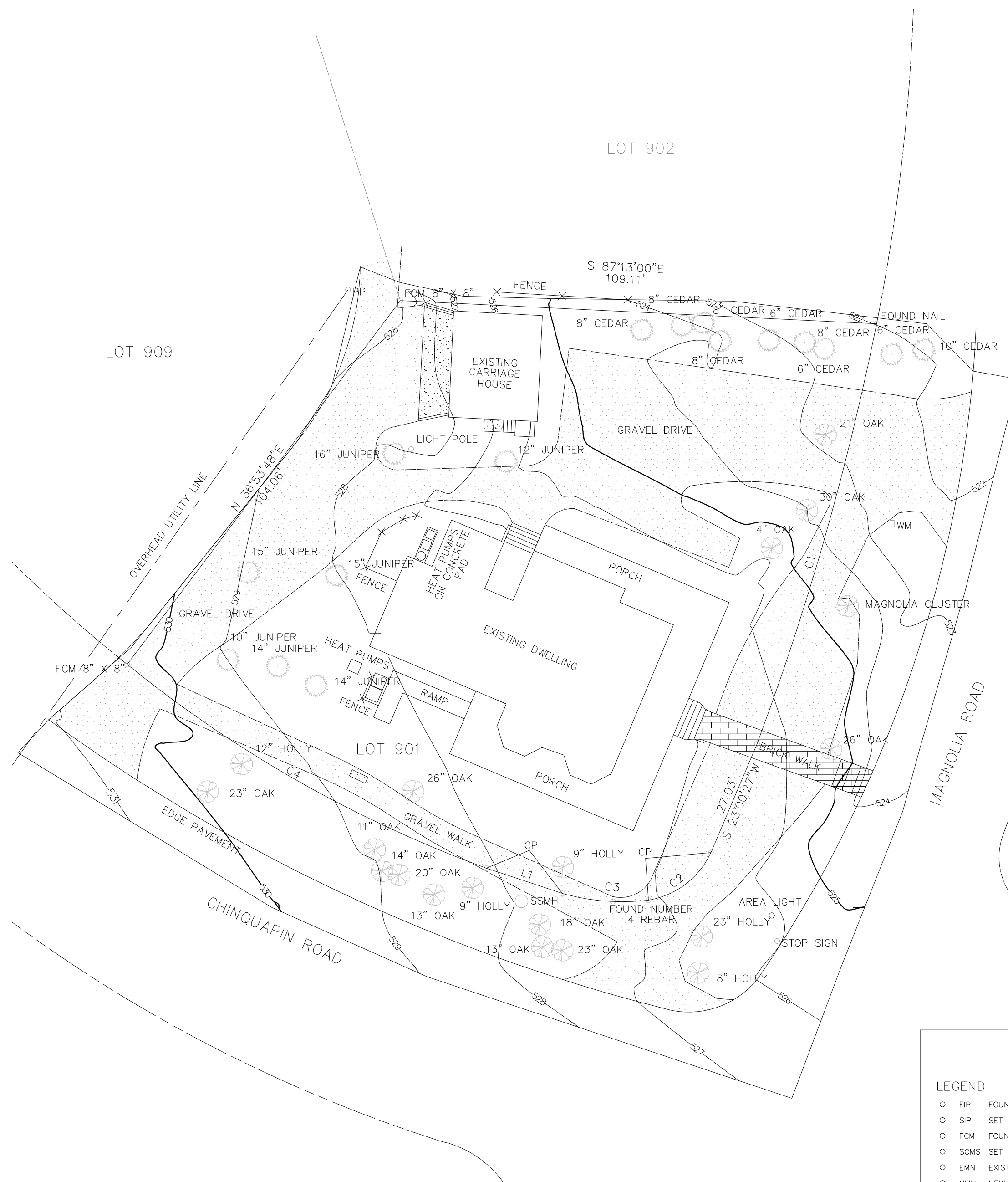
SYMBOLS LEGEND

DRAWING TITLE	DRAWING NAME SCALE
SECTION	SECTION
ELEVATION	ELEVATION
WALL TYPE	WALL TYPE
DOOR NUMBER	DOOR NUMBER
CEILING/ELEVATION HEIGHT	CH: ##'

ABBREVIATIONS KEY

AFF	ABOVE FINISHED FLOOR
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CPT	CARPET
DIA	DIAMETER
DWG	DRAWING
EQ	EQUAL
FLR	FLOOR
GLS	GLASS
GYP	GYPSUM BOARD
HVAC	HEATING, VENTILATION, AIR CONDITIONING
MAX	MAXIMUM
MIN	MINIMUM
N/A	NOT APPLICABLE
NTS	NOT TO SCALE
OPP	OPPOSITE
PT	PAINT
SIM	SIMILAR
SF	SQUARE FEET
SHT	SHEET
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WD	WOOD

LOT 901 OLDE TOWN
PINEHURST, INC.
MINERAL SPRINGS TWP., MOORE COUNTY, N.C.
OWNER: RICHARD MOORE
DEED REFERENCE: DEED BOOK 4205, PAGE 102
MAP REFERENCE: MAP OF THE LANDS OF LEONARD TUFTS



NOTE:
LOT 901 CONTAINS 15819 SQ. FT.
AREA BY COORDINATE METHOD
PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO MAP NUMBER 3710855200J OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, EFFECTIVE DATE: OCTOBER 17, 2006
PIN 855212964464, PARID 00028321
ZONED VC

CERTIFICATE OF SURVEY AND ACCURACY
I, BENNY L. BROWN, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, DEED DESCRIPTION RECORDED AS SHOWN ON MAP, THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN BOOKS REFERENCED; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600), THIS 12th DAY OF MAY, 2014.
THIS DOCUMENT ORIGINALLY ISSUED AND SEALED BY BENNY L. BROWN, L-3031, ON 5/12/14. THIS MEDIUM SHALL NOT BE CONSIDERED A CERTIFIED DOCUMENT.

PROFESSIONAL LAND SURVEYOR
REGISTRATION NUMBER L3031

Curve	Arc	Delta Angle	Chord	Ch Bearing	Radius	Tangent
C1	99.98'	09°08'13"	99.87'	S 15°53'57"W	626.93'	50.09'
C2	18.71'	56°35'28"	17.96'	S 52°39'10"W	18.94'	10.20'
C3	19.92'	22°40'13"	19.79'	S 85°31'42"E	50.34'	10.09'
C4	94.86'	18°59'37"	94.42'	N 60°26'58"W	286.14'	47.87'

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LEGEND

- FIP FOUND IRON PIPE
- SIP SET IRON PIPE
- FCM FOUND CONCRETE MONUMENT
- SCMS SET COTTON MILL SPINDLE
- EMN EXISTING MAG NAIL
- NMN NEW MAG NAIL
- CP COMPUTED POINT
- CBL CABLEVISION EQUIPMENT
- TP TELEPHONE PEDESTAL

SURVEY FOR:
LKC ENGINEERING
140 AQUA SHED COURT
ABERDEEN, NC 28315

DATE: 5/08/14
FILE NO.: 8214
SCALE: 1" = 20'

1 SURVEY
A0 SCALE: 1" = 20'-0"

EXHIBIT A-2.2

2 LOCATION PLAN
A0 N.T.S.

PROJECT INFORMATION

ZONE	R10
SETBACKS (AS DRAWN):	
FRONT	30 FT
RIGHT SIDE	20 FT
LEFT SIDE	15 FT
REAR	25 FT
AREAS:	
LOT	15,819 SF

EXISTING CARRIAGE HOUSE 479 SF (FOOTPRINT, COND.)

DESCRIPTION OF WORK:
RENOVATION OF EXISTING CARRIAGE HOUSE TO HOME OFFICE WITH SITTING AREA, KITCHENETTE AND FULL BATH.

NO CHANGES TO EXISTING FOOTPRINT.

CHANGE TO FRONT ELEVATION: REMOVE ONE EXISTING FRENCH DOOR AND SIDELIGHTS AND REPLACE WITH NEW WINDOW IN BATHROOM.

ALL NEW MATERIALS AND FINISHES TO MATCH EXISTING.

DRAWING LIST

- A0 COVERSHEET & SITE PLAN
- A1 PLANS & ELEVATIONS

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BY MARK WESLEY PARSON, INC.
ALL RIGHTS RESERVED.
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF MARK WESLEY PARSON, INC. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR USED WITHOUT THE WRITTEN PERMISSION OF MARK WESLEY PARSON, INC. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DETAILS AND DRAWINGS PRIOR TO CONSTRUCTION. MARK WESLEY PARSON, INC. WILL NOT BE LIABLE FOR CHANGES OR ERRORS MADE AFTER CONSTRUCTION BEGINS.

MOORE RESIDENCE
105 MAGNOLIA RD. PINEHURST NC

DATE: APRIL 16, 2026

REVISIONS:

COVER SHEET
SITE PLAN

SHEET NUMBER

A0



COA-2026-00070 (20 Shaw Rd SW)

ADDITIONAL AGENDA DETAILS:

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the construction of an addition, in-ground pool, and pergola at 20 Shaw Rd. SW. The property is identified as Moore County PID Number 00022224. The property owners are Joshua and Shannon Ammons and the applicant is Huntley Design Build.

FROM: Maria Klein, Senior Planner
CC: Historic Preservation Commission;
DATE OF MEMO: 05/15/2026

MEMO DETAILS

ATTACHMENTS

1. Staff Exhibits
2. Applicant Exhibits



PLANNING AND INSPECTIONS DEPARTMENT STAFF REPORT

To: Historic Preservation Commission
From: Maria Klein, Senior Planner
CC: Michael Mandeville, Senior Planner
 Jeanann Dawson, Administrative Specialist
Date: May 20, 2026
Subject: Major COA Request 20 Shaw Rd. SW

Applicant:	Huntley Design Build
Owners:	Joshua & Shannon Ammons
Property Location:	20 Shaw Rd. SW
Land Use:	Single Family Residential
PID#	00022224
COA#:	2026-00070

Request and Background:

The applicant requests a Certificate of Appropriateness (COA) for the construction of an addition, in-ground pool, pergola, and driveway extension at 20 Shaw Rd. SW. The property is further identified as Moore County PID Number 00022224. The primary structure was built in 1917 and the property is +/- 1.103 acres in size.

The applicant is proposing to construct an addition on the left side of the principal dwelling, expanding the existing gravel driveway, and adding an in-ground swimming pool with patio and pergola in the rear yard. Materials for the addition will match what is on the existing dwelling. The patio surrounding the pool will be bluestone and the roofing on the covered patios will be metal roofing. A brick retaining wall will be located in the rear yard behind the pool, along with black fencing around the pool.

The public hearing was noticed in accordance with the Pinehurst Development Ordinance and NCGS 160D-406.

Standards of Review

Per the adopted Historic District Standards, new construction or additions not considered to be Minor Work, and installation of in-ground swimming pools are considered Major Work requiring review by the Historic Preservation Commission for issuance of a Certificate of Appropriateness.

The Commission shall not approve a Certificate of Appropriateness until the evidence presented meets the standards within the Historic District Standards and/or is determined to satisfy the burden of proof that the proposed request is congruous with the Historic District.

Applicable Standards:

III. CHANGES TO EXISTING RESIDENCES

A. ROOFS

1. SECTION III.A.1 - Any changes or additions to the configuration of an existing roof *shall* be compatible with the architectural style of the existing structure and **must** be congruous with the Pinehurst Historic District.
2. SECTION III.A.5 - Metal roofs are allowed but the material **must** be compatible with the existing structure and the metal must be copper or one of the following colors: weathered copper color, dark brown, dark bronze, dark gray, dark green, dark silver or black.

I. ADDITIONS AND ACCESSORY BUILDINGS – CARRIAGE HOUSES, GARAGES, AND OTHER BUILDINGS

1. SECTION III.I.1 - Additions and new accessory buildings, such as carriage houses, garages, and other buildings, **must** be compatible with the character and scale of the primary structure and **must** be congruous with the character of the Pinehurst Historic District.
2. SECTION III.I.6 – Windows and doors in additions and accessory buildings *should* be similar to those in the existing primary structure in their proportions, spacing, and materials.
3. SECTION III.I.8 – The foundation height of an addition or accessory building *should* align with that of the primary structure.
4. SECTION III.I.9 – Additions and accessory buildings such as carriage houses, garages and other buildings **must** be located as inconspicuously as possible, in rear or side yards.
5. SECTION III.I.10 – An addition **must** not obscure, damage, or destroy the character-defining features of an historic primary structure.
6. SECTION III.I.12 - Attached or detached garages *should* open to the rear or side of the primary structure.

VII. SITE FEATURES

A. FENCES AND WALLS

1. SECTION VII.A.9 – Metal fences *should* be painted to resemble wrought iron.
2. SECTION VII.A.10 - Brick and stacked stone walls are permitted.

B. DRIVEWAYS AND OFF-STREET PARKING

1. SECTION VII.B.1 - The historic configuration and materials of existing driveways and alleys *should* be retained and preserved whenever possible.
2. SECTION VII.B.2 - New driveways *should* be located so that a minimum of alteration to historic site features, such as landscaping, walkways, and retaining walls, is necessary.

D. SWIMMING POOLS

1. SECTION VII.D.1 - In-ground swimming pools, hot tubs and spas **must** be located in the rear yard and **must** not be visible from the street.

Staff Comments:

The applicant has submitted an application and provided additional documentation in an attempt to satisfy the burden of proof. The wall, driveway, and fencing meet the Standards and could be approved by Staff. The Commission will need to determine if the addition, pool, and other changes are congruous with the Historic District and meet the Historic District Standards.



HISTORY, CHARM, AND SOUTHERN HOSPITALITY

May 13, 2026

Dear Property Owner(s),

The Village of Pinehurst Historic Preservation Commission will hold a public hearing on:

Thursday, May 28th, 2026
At 4:00 p.m.
At Pinehurst Village Assembly Hall
395 Magnolia Rd. Pinehurst, NC 28374

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the construction of an addition, in-ground pool, and pergola at 20 Shaw Rd. SW. The property is identified as Moore County PID Number 00022224. The property owners are Joshua and Shannon Ammons and the applicant is Huntley Design Build.

As the owner of said property, an adjacent property owner or as the applicant, you are receiving formal notification of this Public Hearing. Information on this request is available for public review at Village Hall, 395 Magnolia Road, Pinehurst, North Carolina during regular business hours. Information on the hearing will be posted online the week of the meeting at: <https://pinehurstnc.portal.civicclerk.com/>.

The meeting will be streamed in real-time on the Village's website, at www.vopnc.org/live.

The applicant, the local government, and any person who would have standing to appeal the decision under PDO Section 4.3.1.F.5 shall have the right to participate as a party at the evidentiary hearing. Other witnesses may present competent, material, and substantial evidence that is not repetitive as allowed by the board. All persons wishing to be heard should be present during the public hearing so that the facts presented are made a matter of record.

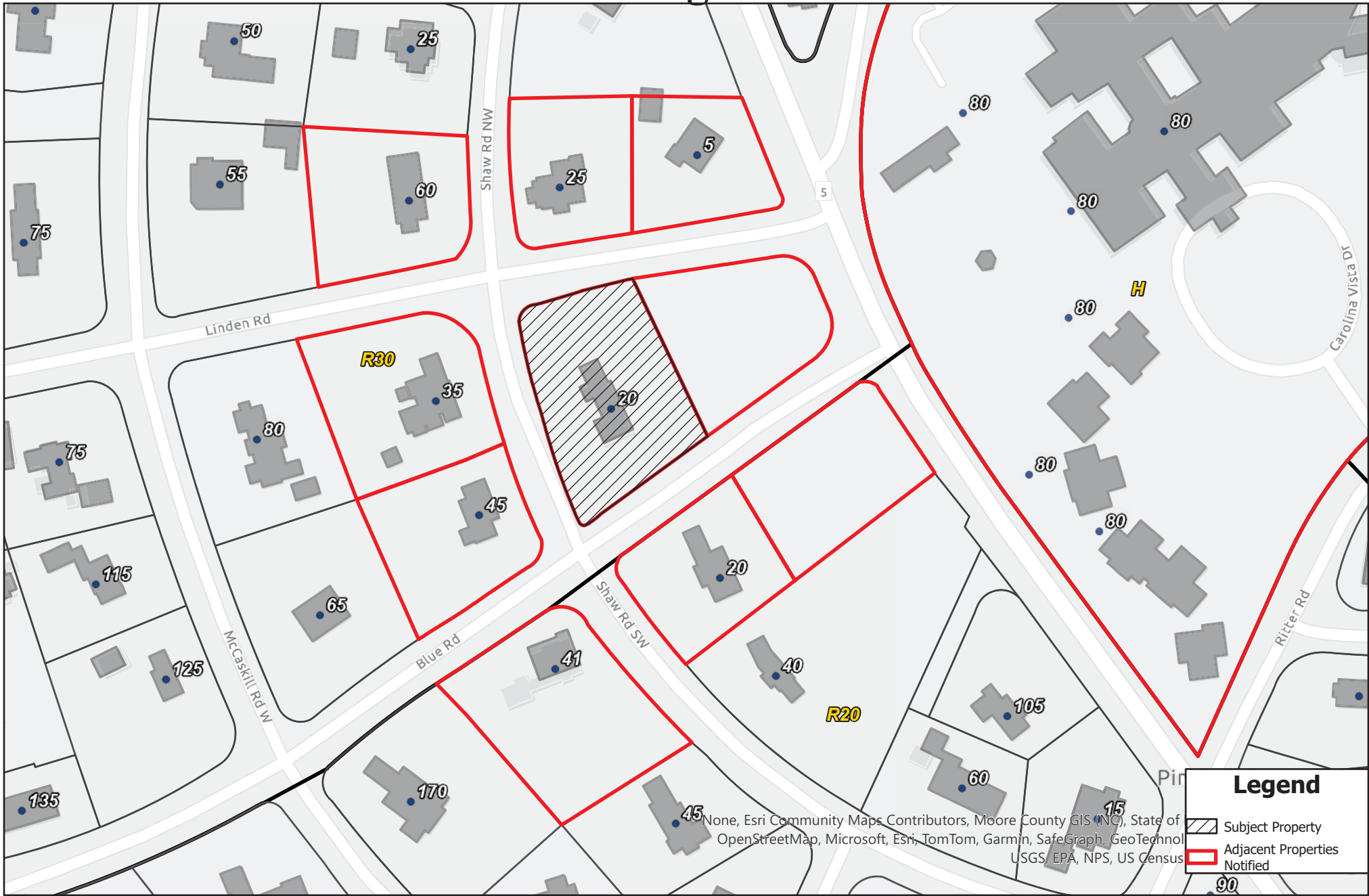
For more information, please call (910) 295-1900.

PLANNING & INSPECTIONS

395 Magnolia Road • Pinehurst, NC 28374 • Telephone (910) 295-2581 • Fax (910) 295-1396 • www.vopnc.org

Public Hearing Notification

EXHIBIT S-1.5



0 255 510 Feet
Village of Pinehurst Disclaimer: It is understood that the data contained herein is subject to constant change and that its accuracy cannot be guaranteed.
The maps have been created from information provided by various government and private sources at various levels of accuracy.
The data is provided to you "as is" with no warranty, representation or guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided herein. It is the responsibility of the user of the data to be aware of the data's limitations and to utilize the data in an appropriate manner.
Any resale of this data is strictly prohibited in accordance with North Carolina General Statutes 132-10.
Grid is based on North Carolina State Plane Coordinate System NAD83 (feet).
5/11/2026

May 28, 2026
Historic Preservation Commission
20 Shaw Rd. Major COA Request

The Village of Pinehurst logo features the year 1895 and the text 'VILLAGE OF PINEHURST' within a decorative border. To the right of the logo is a compass rose with cardinal directions N, S, E, and W.

BANNON, STEPHEN K
386 LOOKOUT DR
LAGUNA BEACH,CA,92651-1711

BUCK, JAMES E &
60 LINDEN ROAD
PINEHURST,NC,28374

PEARCE, E HOLLY HALL TRUSTEE
2711 CORBETT ROAD
MONKTON,MD,21111

AMMONS, JOSHUA CRESTON
411 JEFFERSON DR
CHARLOTTE,NC,28270-5343

AMMONS, JOSHUA CRESTON
411 JEFFERSON DR
CHARLOTTE,NC,28270-5343

MCARTHUR, DANIEL L
PO BOX 190
PINEHURST,NC,28370

WALTERS, MICHAEL
1887 OAKTON CHURCH RD
FAIRMONT,NC,28340

PHILLIPS, RANDALL R &
PO BOX 1385
PINEHURST,NC,28370-1385

DAHLGREN, DANA LIND
35 SHAW ROAD SW
PINEHURST,NC,28374

RESORTS OF PINEHURST INC
PO BOX 4000
PINEHURST,NC,28374

MOORE, SUSAN S
180 EDGEWATER PL
PINEHURST,NC,28374

COA-2026-00070 - Ammons Addition

[Menu](#) [Help](#)

File Date: [04/22/2026](#)

Application Status: [In Review](#)

Application Type: [Historic Certificate of Appropriateness - Major](#)

Application Detail: [Detail](#)

Description of Work: [Ammons Addition, Pool & Pergola](#)

Application Name: [Ammons Addition](#)

Address: [20 SW SHAW, PH, 28374](#)

Owner Name: [Ammons, Josh](#)

Owner Address: [20 SHAW RD SW, PINEHURST, NC 28374](#)

Parcel No: [00022224](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	-	-	Applicant		Active
	-	-	Applicant		Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$500.00](#)

Total Fee Invoiced: [\\$500.00](#)

Balance: [\\$0.00](#)

Custom Fields: GENERAL INFORMATION

Description of Changes to the Structure	Type of Work	Existing Use
Garage Addition with living space, pool & Pergola	Addition	Single Family Medium Density
Proposed Use	Includes Demolition?	Includes Tree Removal?
Single Family Medium Density	No	Yes
COA Number	Conditions of COA (If Any)	
-	-	

PERMIT DATES

Application Expiration Date	Permit Issued Date	Permit Expiration Date
-	-	-

FRONT ELEVATION

Existing Material	Existing Color	Proposed Material	Proposed Color
		Wood Siding	White

REAR ELEVATION

Existing Material	Existing Color	Proposed Material	Proposed Color
		Wood Siding	White

RIGHT ELEVATION

Existing Material	Existing Color	Proposed Material	Proposed Color
		Wood Siding	White

LEFT ELEVATION

Existing Material	Existing Color	Proposed Material	Proposed Color
		Wood Siding	White
TRIM			
Existing Material	Existing Color	Proposed Material	Proposed Color
		Wood	White
WINDOWS			
Existing Material	Existing Color	Proposed Material	Proposed Color
		Wood	White
CHIMNEY			
Existing Material	Existing Color	Proposed Material	Proposed Color
		Brick	Painted White
FOUNDATION			
Existing Material	Existing Color	Proposed Material	Proposed Color
		Brick	Painted White
FRONT DOOR			
Existing Material	Existing Color	Proposed Material	Proposed Color
SHUTTERS			
Existing Material	Existing Color	Proposed Material	Proposed Color
		Wood	Black
GARAGE DOOR			
Existing Material	Existing Color	Proposed Material	Proposed Color
		Insulated Metal	White
ROOF			
Existing Material	Existing Color	Proposed Material	Proposed Color
		Asphalt Shingles	Williamsburg Gray
ROOF EXHAUST VENTS			
Existing Material	Existing Color	Proposed Material	Proposed Color
FRONT PORCH			
Existing Material	Existing Color	Proposed Material	Proposed Color
DECK			
Existing Material	Existing Color	Proposed Material	Proposed Color
PATIO			
Existing Material	Existing Color	Proposed Material	Proposed Color
Brick Pavers	Cooper Ridge	Brick Paver	Cooper Ridge
SIDEWALK			
Existing Material	Existing Color	Proposed Material	Proposed Color
SKY LIGHTS			

Existing Material Existing Color Proposed Material Proposed Color

DRIVEWAY

Existing Material Existing Color Proposed Material Proposed Color

#57 Gravel	Blue	#57 Gravel	Blue
------------	------	------------	------

HOUSE NUMBER

Existing Material Existing Color Proposed Material Proposed Color

OTHER

Existing Material Existing Color Proposed Material Proposed Color

Workflow Status:

Task	Assigned To	Status	Status Date	Action By
Application Acceptance		Accepted	04/27/2026	Maria Klein
Review for Completeness		Additional I...	04/30/2026	Maria Klein
Review Distribution				
Historic Review				
Planning Review				
Review Consolidation				
HPC Public Hearing Notice				
Property Owner Notific...				
Staff Report				
HPC Hearing				
COA Issued				
Inspection				

Condition Status:

Name	Short Comments	Status	Apply Date	Severity	Action By
------	----------------	--------	------------	----------	-----------

Documents:

File Name	Document Group	Category	Description	Type	Document Status	Document Status Date
427_OLD TOWN - SITE P...	PLN_HIST	Site Plan	Site Plan	application/pdf	Uploaded	04/21/2026
Ammons Pergola Elevati...	PLN_HIST	Photo	Pergola Drawings	application/pdf	Uploaded	04/21/2026
Ammons SD1 Rendering.pdf	PLN_HIST	Other	Preliminary Landsc...	application/pdf	Uploaded	04/21/2026
Backyard.jpg	PLN_HIST	Photo	Rendering	image/jpeg	Uploaded	04/21/2026
Front Yard.jpg	PLN_HIST	Photo	Rendering	image/jpeg	Uploaded	04/21/2026
Garage.jpg	PLN_HIST	Photo	Rendering	image/jpeg	Uploaded	04/21/2026
Pool.jpg	PLN_HIST	Photo	Pool Rendering	image/jpeg	Uploaded	04/21/2026
AMMONS HDB ARCHITECTUR...	PLN_HIST	Plan	Building Plans	application/pdf	Uploaded	04/23/2026

[Show all](#)

Application Comments:

View ID	Comment	Date
---------	---------	------

Initiated by Product: ACA

Scheduled/Pending Inspections:

Inspection Type	Scheduled Date	Inspector	Status	Comments
-----------------	----------------	-----------	--------	----------

Resulted Inspections:

Inspection Type	Inspection Date	Inspector	Status	Comments
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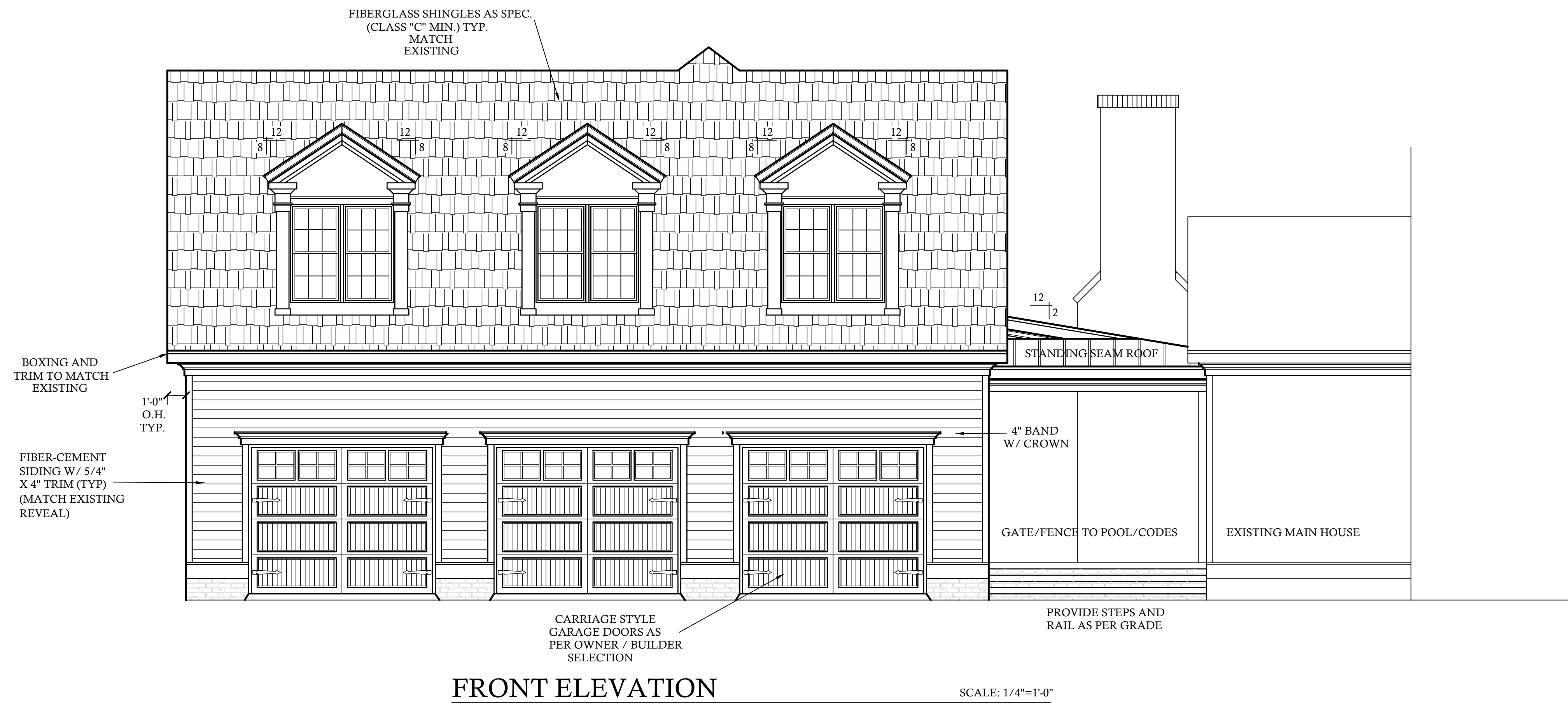
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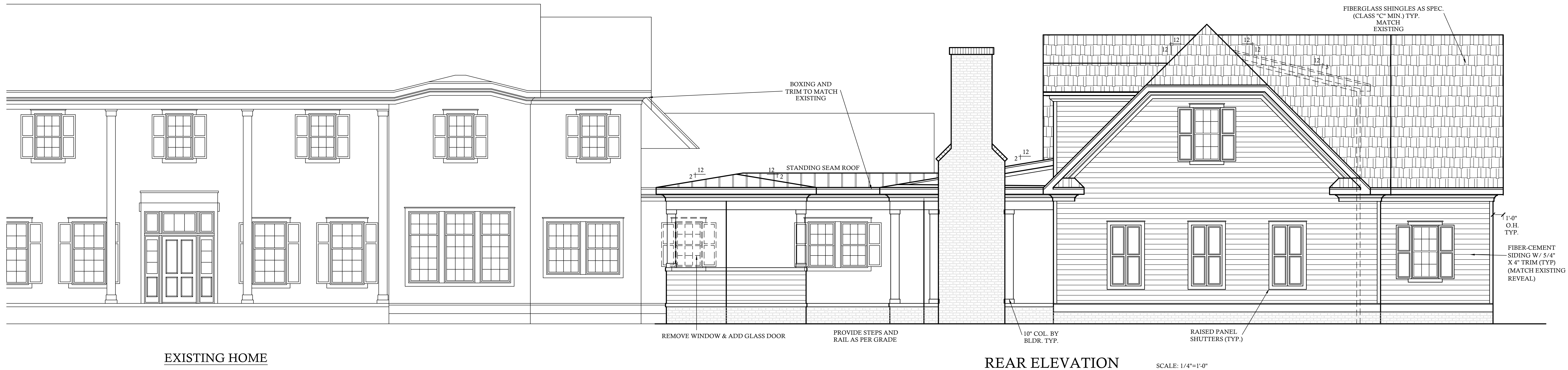




FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTE:
SHUTTERS ARE SHOWN TO FIT WINDOW AND DOOR OPENINGS AND OPERATE FULLY. SEE BUILDER FOR HARDWARE CHOICE. WINDOWS ARE SHOWN W/ BRICK MOULDING OR 5/4" TRIM FOR HARDWARE ATTACHMENT. SEE WINDOW MANUFACTURER FOR FINAL SHUTTER SIZE.



EXISTING HOME

REAR ELEVATION

SCALE: 1/4"=1'-0"

LIST OF ABBREVIATIONS

CLG. : CEILING	ABV. : ABOVE
HGT. : HEIGHT	C.O. : CASSED OPENING
D.O. : DOUBLE OVEN	REFG. : REFRIGERATOR
WD. : WOOD	D.W. : DISHWASHER
CONT. : CONTINUOUS	T.B.D. : TO BE DETERMINED
CONC. : CONCRETE	W.I.C. : WALK IN CLOSET
COL. : COLUMN	W. WASHER
ELLIP. : ELLIPSE	D. : DRYER
W. : WITH	SHWR. : SHOWER
TRANS. : TRANSOM	DN. : DOWN
CANT. : CANTILEVER	K.S. : KNEE SPACE
M.O. : MASONRY OPENING	TYP. : TYPICAL
SS= 5 SHELVES	
1R/1S = 1 ROD AND 1 SHELF	
2R/2S = 2 RODS AND 2 SHELVES	
SD = SMOKE DETECTOR	
CMD = CARBON MONOXIDE DETECTOR	

GENERAL PLAN NOTES

- SEE CHAPTER 6 OF 2018 NRCR FOR WALL CONSTRUCTION.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS ACCORDING TO 2018 NRCR SECTION R308.4.
- DWELLING/GARAGE FIRE SEPARATION SHALL PER TABLE 302.6 OF 2018 NRCR.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS AS REQUIRED IN 2018 NRCR SECTIONS R303.1 AND R310
- ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.
- VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.
- LOCATE DORMER FACE TO ALLOW 4" MIN. BELOW WINDOW FRAME.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH OWNER VIA SHOP DRAWINGS FROM CABINET MANUF.
- ALL FLOOR COVERINGS AND FINISHES BY OWNER/BLDR. COORDINATE HEIGHTS DUE TO THICKNESS CHANGES.
- ALL WINDOW GLAZING TO HAVE 0.32 U-FACTOR MIN. SEE TABLE E-4A, E-4B
- FINISHES OF SCREEN PORCH COLUMNS, RAILS, FLOORS, CEILINGS, SCREEN DOOR SYSTEM, AND DOOR TO PORCH BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS
- FINISHES FOR CLOSET SHELVING AND ROD BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS
- FINISHES OF ALL INTERIOR BASE BOARD, CLG. DETAIL / MOLDING / OPENING DETAILS, PASS-THRU, WAINSCOTTING DETAILS BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS

ACCESSORIES LEGEND

PROVIDE BLOCKING FOR:

TB = TOWEL BAR	MR = MAGAZINE RACK
TP = TOILET PAPER	MC = MEDICINE CABINET
TR = TOWEL RING	

NOTE:
SELECTION BY OWNER PER BUILDER CONTRACT SPECIFICATIONS

NOTE:
SEE ROOF PLAN FOR KNEEWALL HEIGHTS AND LOCATIONS
GRADE LINES ARE ASSUMED. VERIFY WITH FINAL GRADING PLAN.

AREA CALCULATIONS

HEATED (SQ. FT.)	UNHEATED (SQ. FT.)
1ST FLOOR: 2012	GARAGE: 1204
2ND FLOOR: 2601	PORCHES: 1496
TOTAL: (HEATED) 4613	TOTAL: (UNHEATED) 2700
OVERALL DIMENSION WIDTH: 59'-0"	
DEPTH: 92'-8"	

CONTRACTOR SHALL VERIFY ALL CONDITIONS ANY ERROR OR OMISSION SHALL BE THE USER'S RESPONSIBILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DESIGN TECH INC.
130 W. WINDY HILL RD.
MOUNTAIN VIEW, MO 64150
PH: 816.221.7915
WWW.DESIGNTECH.COM

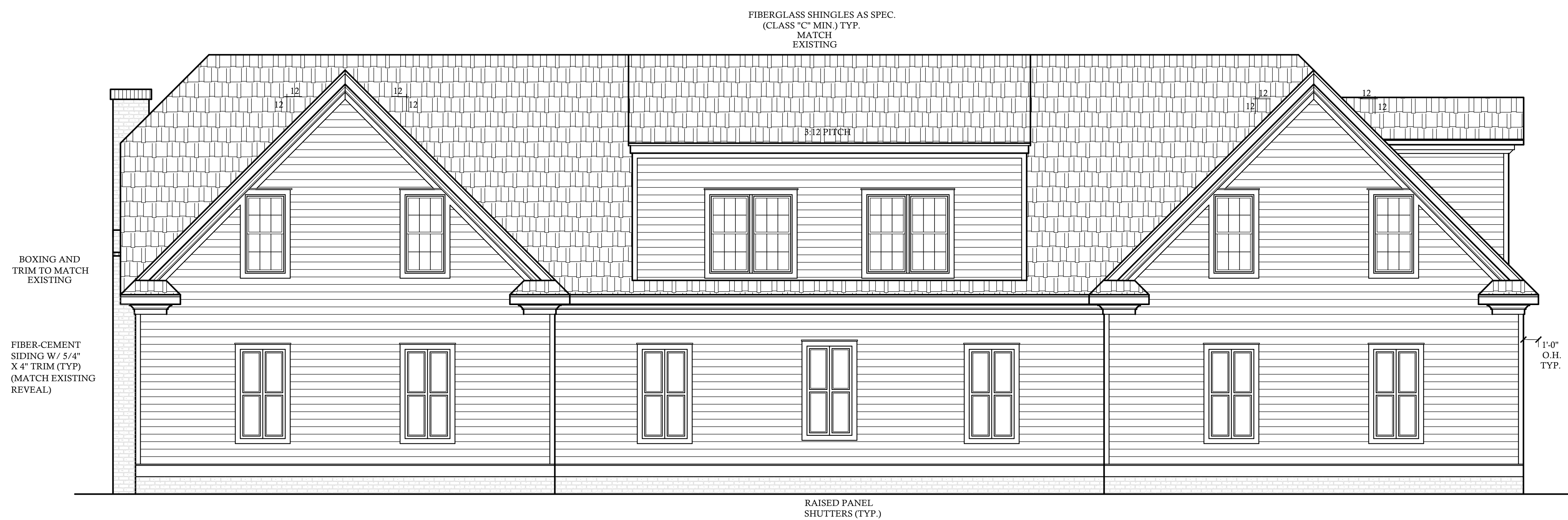
REVISIONS:
DATE: NAME:

DRAWN BY: RKR
CHECKED BY:
DATE: 4-20-26
PLAN NO.

SHEET NO. 1 OF 1



VIEW FROM POOL ELEVATION SCALE: 1/4"=1'-0"



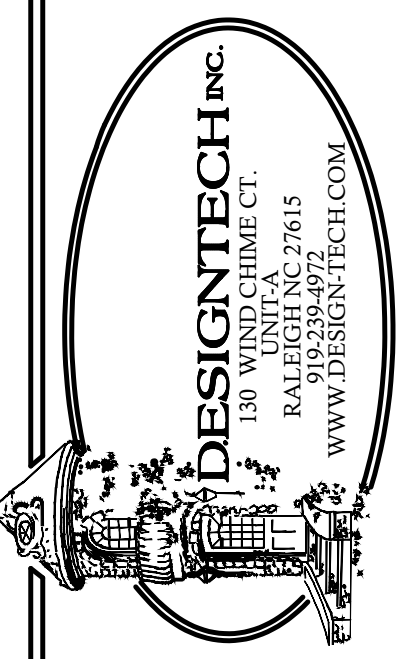
LEFT SIDE ELEVATION SCALE: 1/4"=1'-0"

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MATERIALS BEFORE BEGINNING WORK. ANY ERROR OR OMISSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES FROM LOCAL CONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES FROM LOCAL CONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES FROM LOCAL CONTRACTORS.

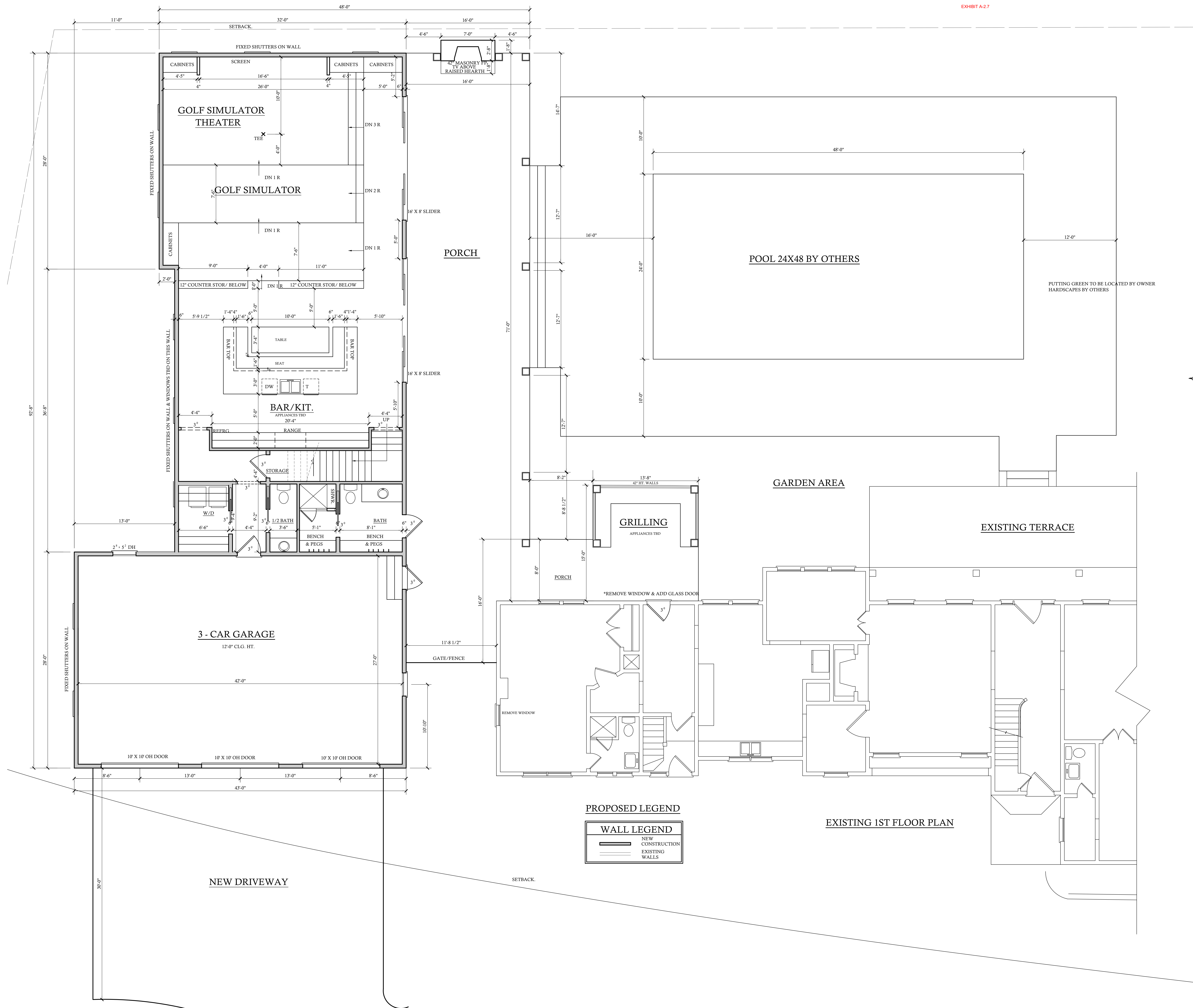
REVISIONS:	
DATE:	NAME:

DRAWN BY:
RKR
CHECKED BY:

DATE:
4-20-26
PLAN NO.



DESIGNTECH INC.
138 WINDY HILL RD
WESTPORT, CT 06880
WWW.DESIGNTECH.COM



PROPOSED LEGEND

WALL LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS

EXISTING 1ST FLOOR PLAN

FIRST FLOOR PLAN SCALE: 1/4"=1'-0"
 10'-0" CLG. HGT. U.N.O.
 SET WINDOWS @ 8'-0" U.N.O.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS OF THE SITE PRIOR TO COMMENCEMENT OF WORK. ANY ERROR OR OMISSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

REVISIONS:
 DATE: NAME:

DRAWN BY: RKR
 CHECKED BY:
 DATE: 4-20-26
 PLAN NO.

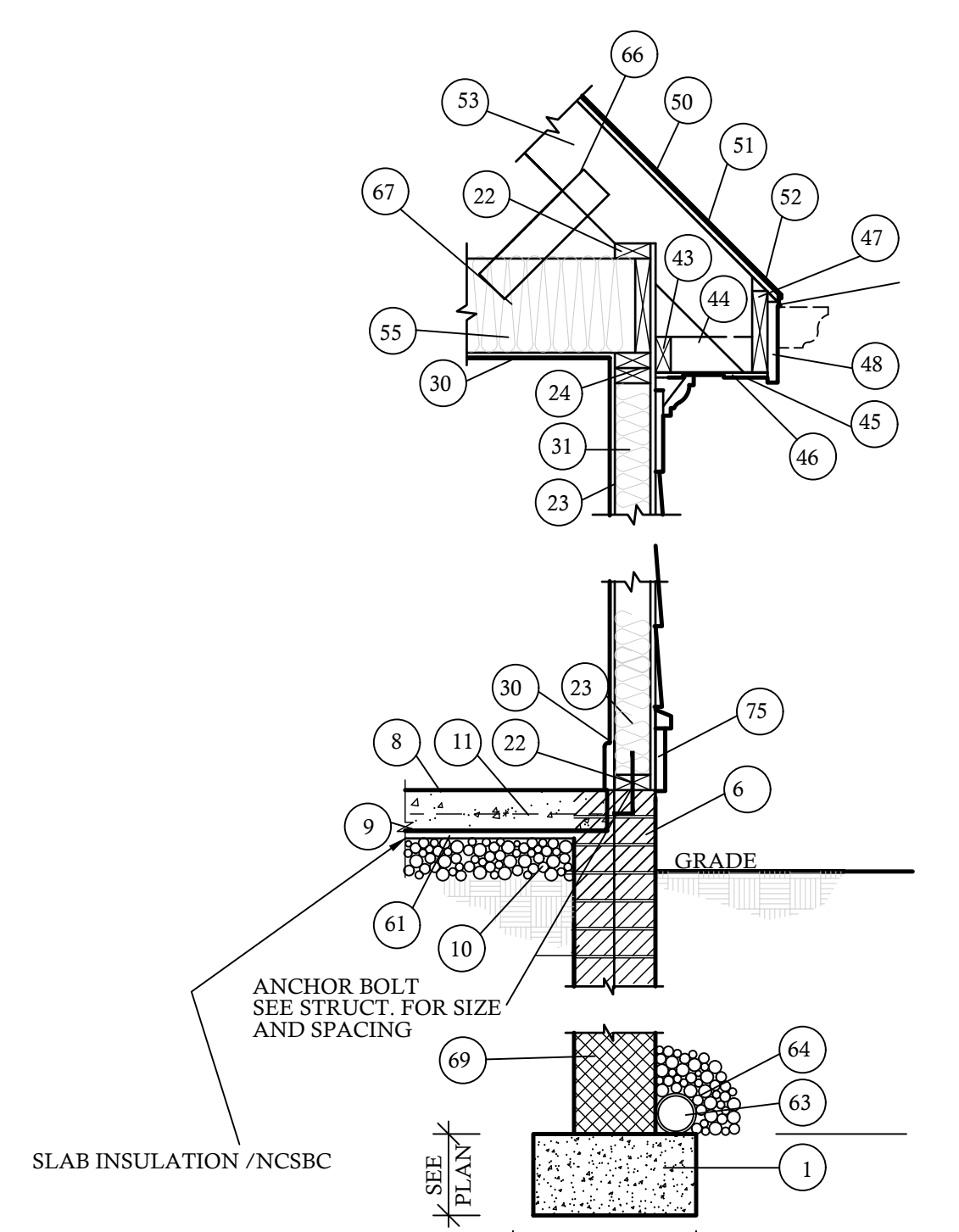
DESIGNTECH INC.
 138 WINDY HILL RD.
 WEST WINDY HILL, CT 06097
 WWW.DESIGNTECH.COM

SHEET NO. 3 OF 3

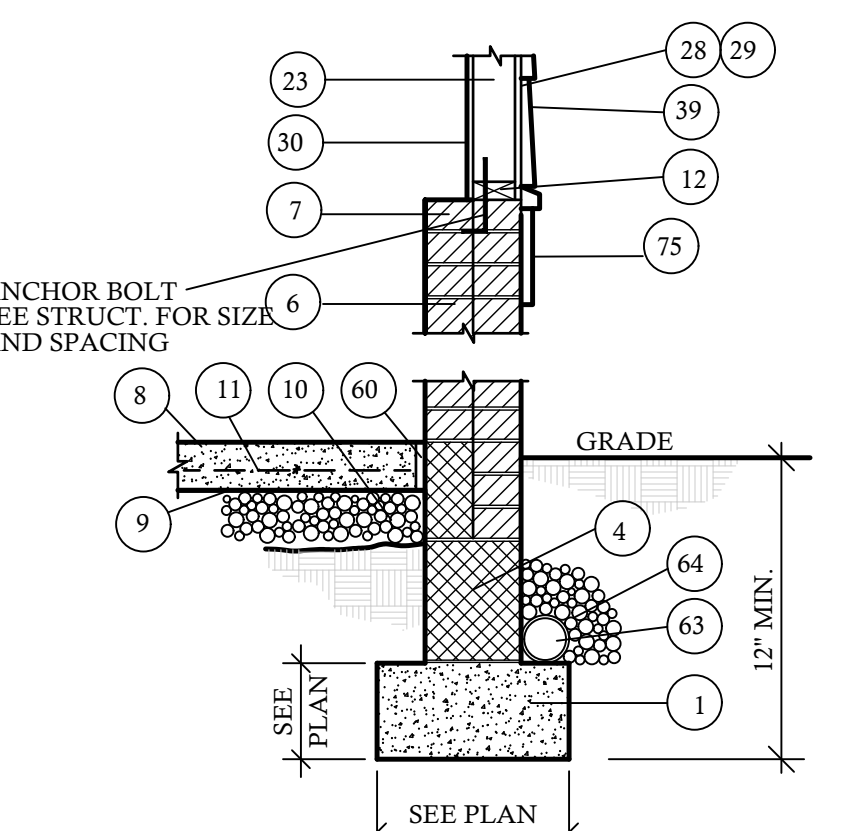
MATERIAL REFERENCE

- | | |
|------------------------------------|--|
| 1. CONT. POURED CONC. FOOTING | 42. 1" FREEZE BOARD |
| 2. 4" X 8" I.C.M.U. | 43. NAILED |
| 3. 4" X 8" I.C.M.U. | 44. LOGSUIT |
| 4. 8" X 8" I.C.M.U. | 45. 3/4" EXT. PLYWOOD SOFFIT |
| 5. 12" X 8" I.C.M.U. | 46. SOFFIT VENT |
| 6. BRICK | 47. RUF FASCIA |
| 7. SOLID MASONRY CAP | 48. 1" X FASCIA |
| 8. 4" CONCRETE SLAB | 49. METAL DRIP STEP |
| 9. 6" INS. VAPOR BARRIER | 50. SHINGLES AS SPECIFIED |
| 10. 4" FOAM BASE | 51. 1/2" FELT PAPER |
| 11. 6" X 6" 18-10 W.W.M. | 52. A.P.A. RATED SHEATHING |
| 12. 2" X 4 TREATED SILL PLATE | 53. 2" X 4 RAFTER |
| 13. 2" X 4 TREATED SILL PLATE | 54. 2" X 4 RAFTER |
| 14. 2" X 4 JOIST | 55. R-38 BATT INSULATION MIN. |
| 15. 2" X 4 BAND | 56. C.M.U. PER |
| 16. 2" X JOIST | 57. TREATED 2" X 4 SHIM PLATE |
| 17. 2" X BAND | 58. GIDER SIZE PER PLAN |
| 18. 2" X JOIST | 59. 2" X 2 LIGOR BOARD |
| 19. 2" X BAND | 60. 1/2" EXPANSION JOINT |
| 20. A.P.A. RATED UNDERFLOOR | 61. 1" P rigid INSULATION (R-5 MIN) |
| 21. A.P.A. RATED UNDERLAYMENT | 62. WATERPROOFING |
| 22. 2" X 4 SOLE PLATE | 63. 4" FERROFIBERED DRAIN TILE |
| 23. 2" X 4 SOLE WALL | 64. CRUSHED STONE W/ INFILTRATION BARRIER ABOVE |
| 24. DRG. 2" X 4 TOP PLATE | 65. CONC. WASH |
| 25. 2" X 4 SOLE PLATE | 66. 2" X 4 RAFTER TIE BACKS PER ENG SPEC. AT 24" ON CENTER |
| 26. 2" X 4 SOLE WALL | 67. 2" X 4 RAFTER TIE BACKS PER PLAN |
| 27. DRG. 2" X 4 TOP PLATE | 68. 2" X 4 RAFTER TIE BACKS PER PLAN |
| 28. EXTERIOR SHEATHING | 69. 2" X 4 RAFTER TIE BACKS PER PLAN |
| 29. SHEATHING PAPER | 70. 2" X 4 RAFTER TIE BACKS PER PLAN |
| 30. 1/2" DRY WALL | 71. 2" X 4 RAFTER TIE BACKS PER PLAN |
| 31. R-15 BATT INSULATION MIN. | 72. 2" X 4 JOIST |
| 32. BRICK VENER | 73. 2" X 4 JOIST |
| 33. WALL TIE | 74. 2" X 4 JOIST |
| 34. WEEP HOLE @ 4" O.C. BORE | 75. 2" X 4 JOIST |
| 35. FLASHING AS REQ. PER CODE | 76. 2" X 4 JOIST |
| 36. SELF-FLUERING GALV. METAL LATH | 77. 2" X 4 JOIST |
| 37. METAL HEAD | 78. 2" X 4 JOIST |
| 38. STUCCO PLASTER | 79. 2" X 4 JOIST |
| 39. SIDING AS SPECIFIED | 80. 2" X 4 JOIST |
| 40. TPL. X ROCKING | 81. 2" X 4 JOIST |
| 41. WOOD FLEER | 82. 2" X 4 JOIST |

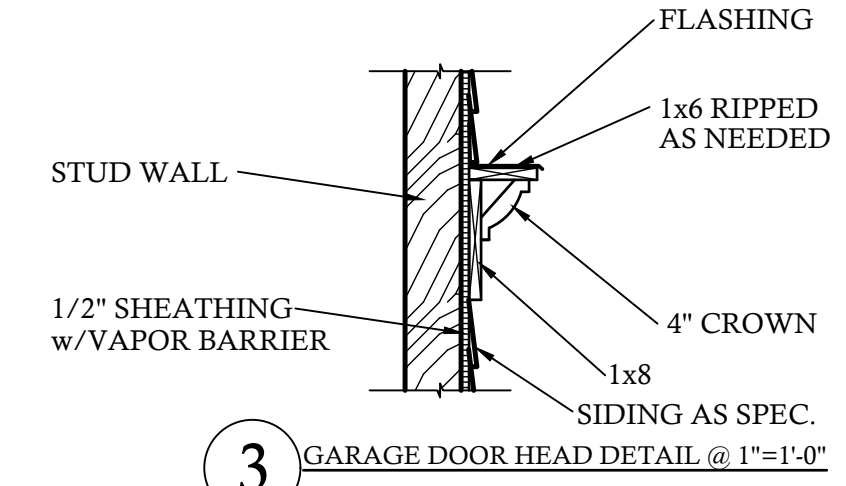
- | | | | |
|--|--------------------|--|-------------------|
| | BRICK | | GRAVEL BED |
| | CONC. MASONRY UNIT | | WELDED WIRE MESH |
| | CONCRETE | | DETAIL NUMBER |
| | STEEL | | SHEET NUMBER |
| | EARTH | | INT. ELEV. LETTER |
| | BATT INSULATION | | EXT. ELEV. NUMBER |
| | RIGID INSULATION | | SECTION NUMBER |
| | STUCCO | | ROOF PITCHED |
| | WOOD | | ROOM NUMBER |
| | STONE | | |



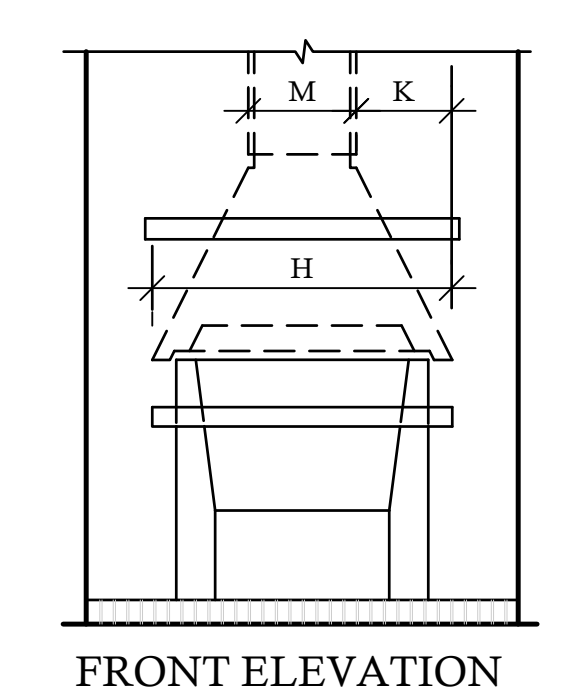
1 2-STORY WALL W/ SIDING @ 3/4"=1'-0"
PROPERTY OF DESIGN TECH INC.
DESIGNED FOR 140-150 MPH WINDS



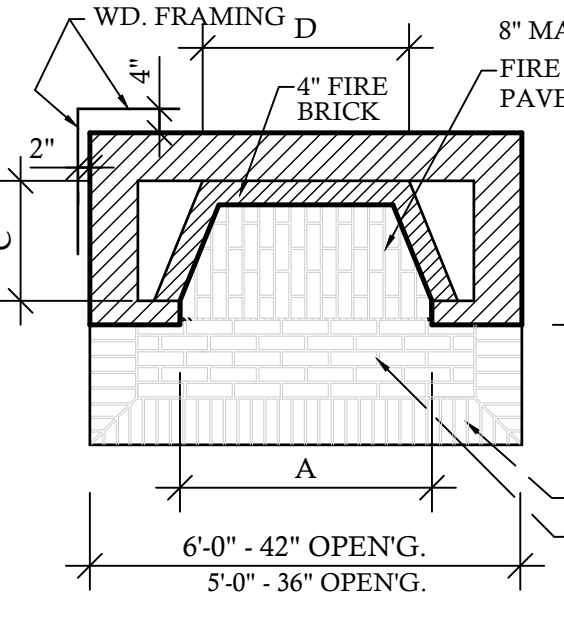
2 GARAGE WALL W/ SIDING @ 3/4"=1'-0"
PROPERTY OF DESIGN TECH INC.
DESIGNED FOR 140-150 MPH



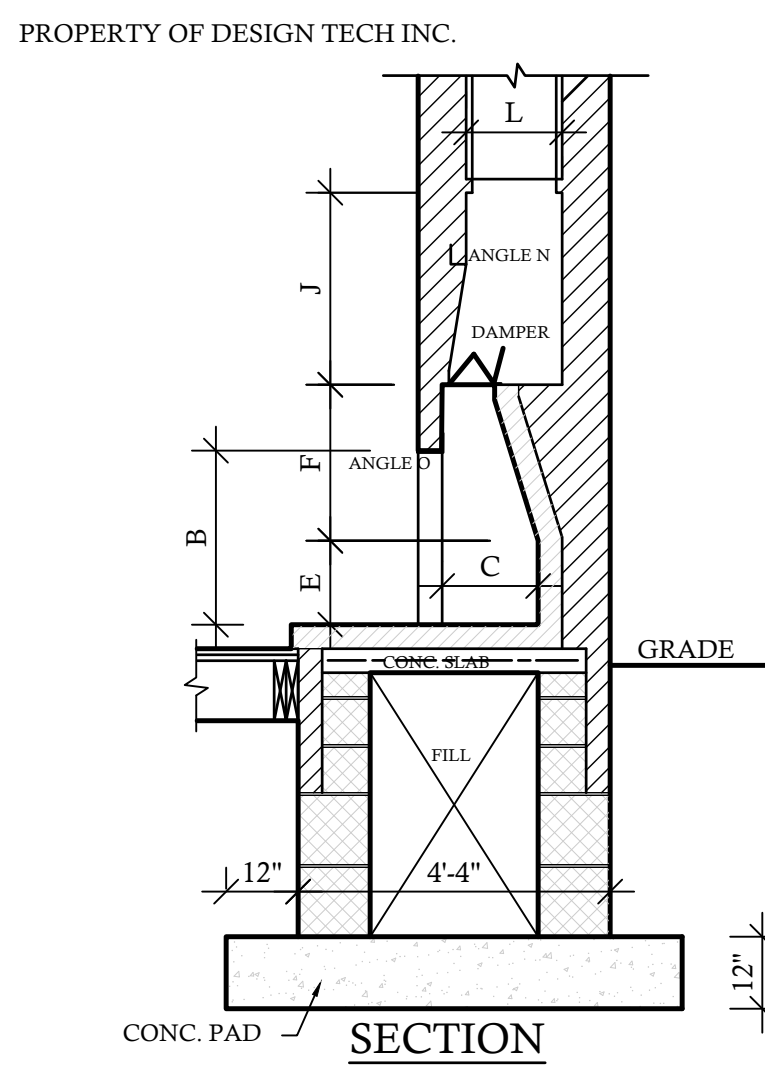
3 GARAGE DOOR HEAD DETAIL @ 1"=1'-0"
PROPERTY OF DESIGN TECH INC.



FRONT ELEVATION



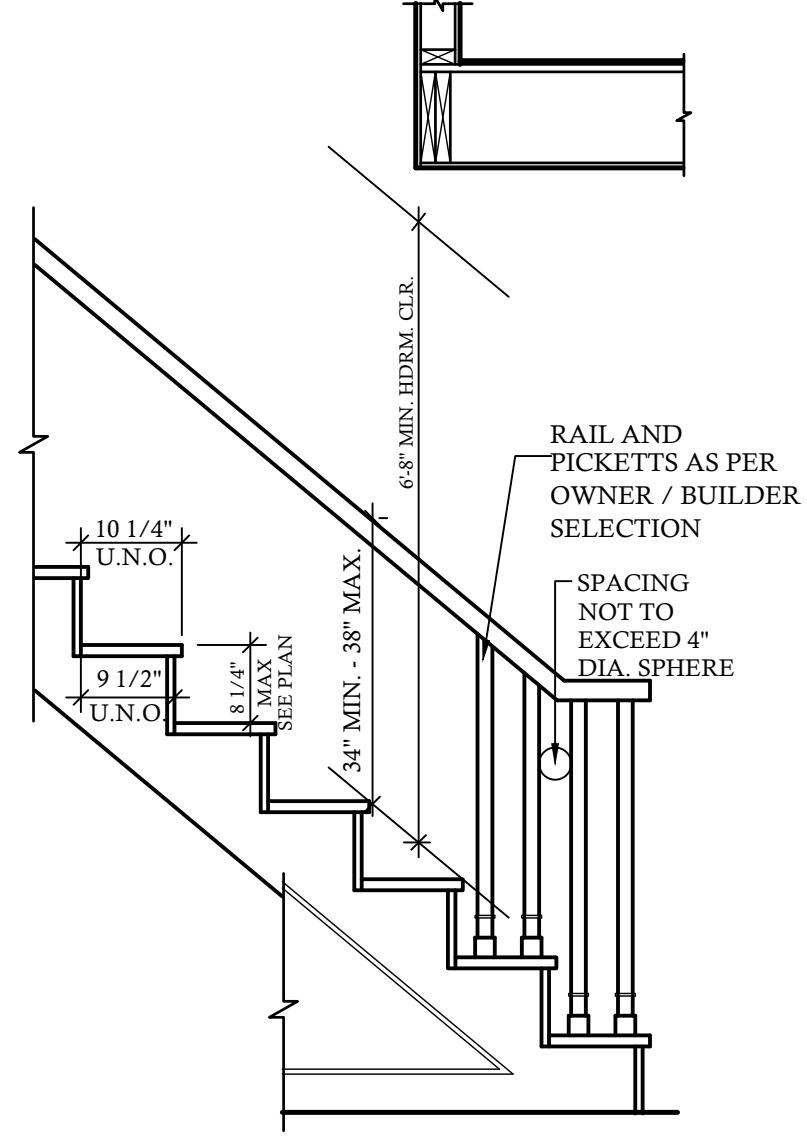
6 LOWERED HEARTH MASONRY FIREPLACE - N.T.S.
PROPERTY OF DESIGN TECH INC.



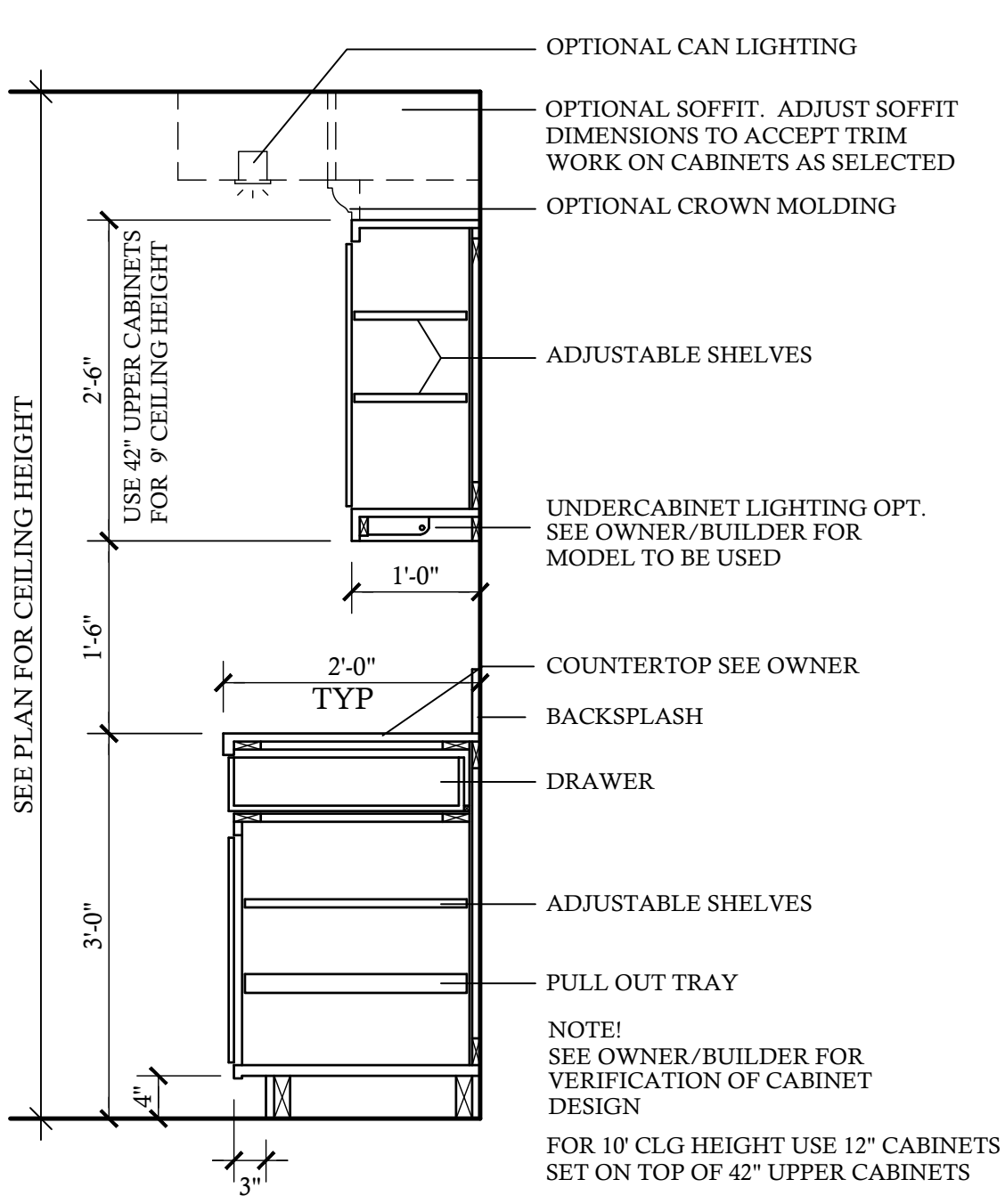
SECTION

FIREPLACE DIMENSIONS, INCHES														
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
16	29	16	23	14	21	8	3/4	44	27	16	12	14	A-48	A-42
42	29	16	29	14	26	8	3/4	45	32	17	16	16	B-54	A-48
48	32	16	33	14	26	8	3/4	46	37	20	16	16	B-60	B-54

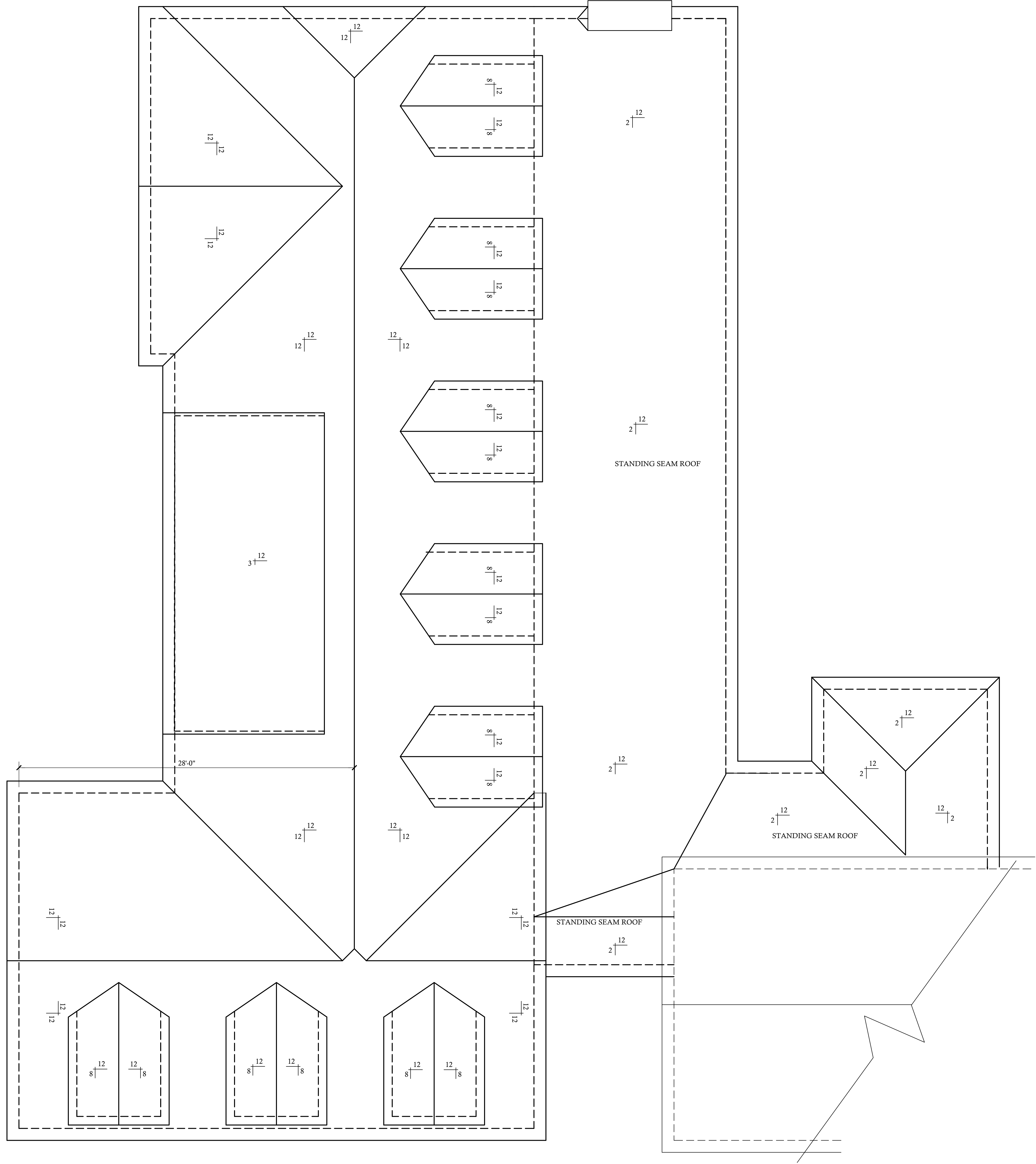
ANGLE SIZES: A-3" x 3" x 3/16"; B-3 1/2" x 1/4"



4 TYP. STAIR DETAIL @ 3/4"=1'-0"
PROPERTY OF DESIGN TECH INC.



5 TYP. KITCHEN CABINET SECTION @ 3/4"=1'-0"
PROPERTY OF DESIGN TECH INC.



ROOF PLAN SCALE: 1/4"=1'-0"

EXHIBIT A-2.9

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND ANY ERROR OR OMISSION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

REVISIONS:

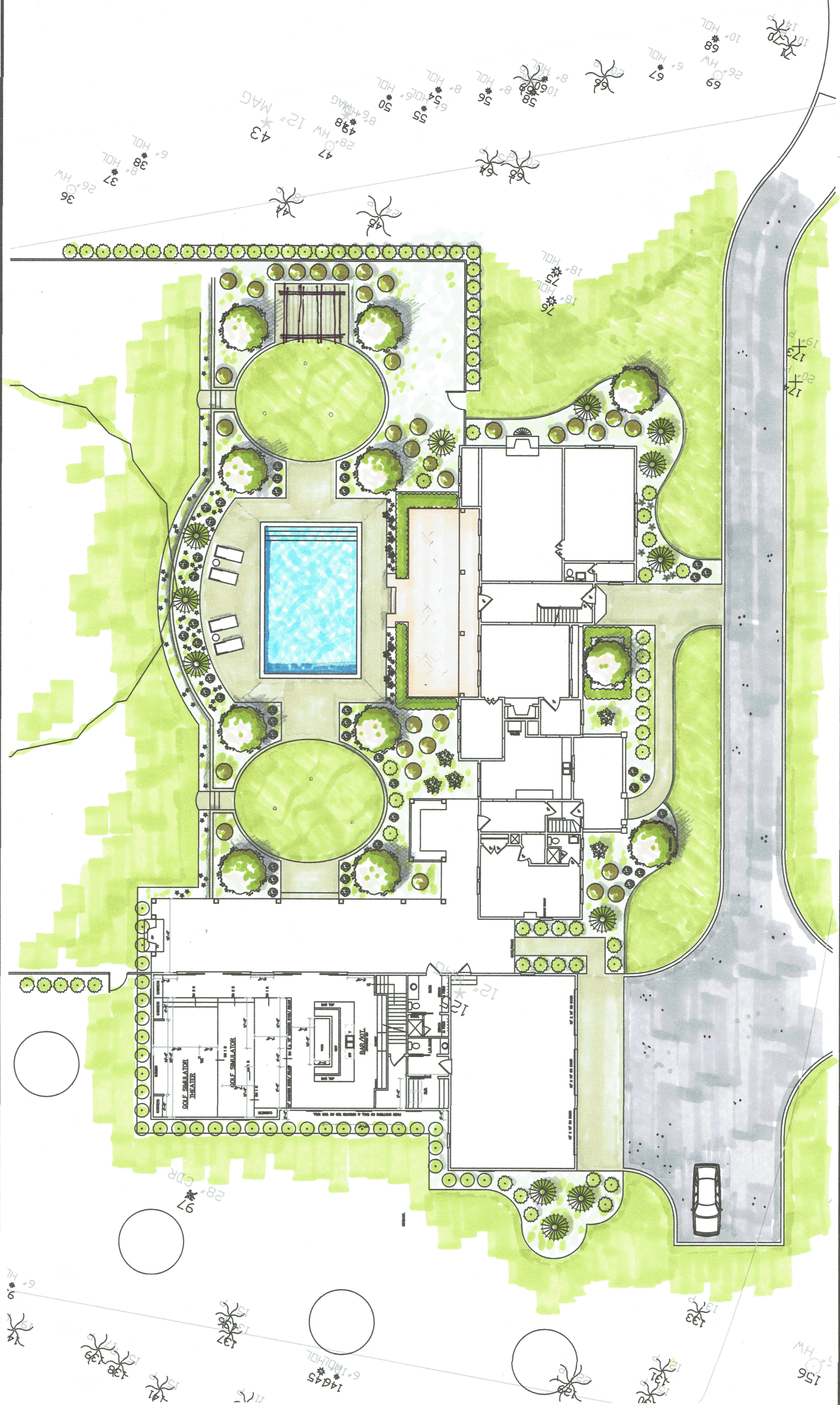
DATE:	NAME:

DRAWN BY: RKR
CHECKED BY:
DATE: 4-20-26
PLAN NO.
DESIGNTECH INC.
138 W. WINTERS BLVD. CT.
WINTERS, CA 95986
TEL: 530.937.2715
WWW.DESIGNTECH.COM

PROPERTY OF DESIGN TECH INC. ALL RIGHTS RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED, STORED IN A RETRIEVABLE SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR OTHERWISE WITHOUT THE PERMISSION OF DESIGNTECH INC.

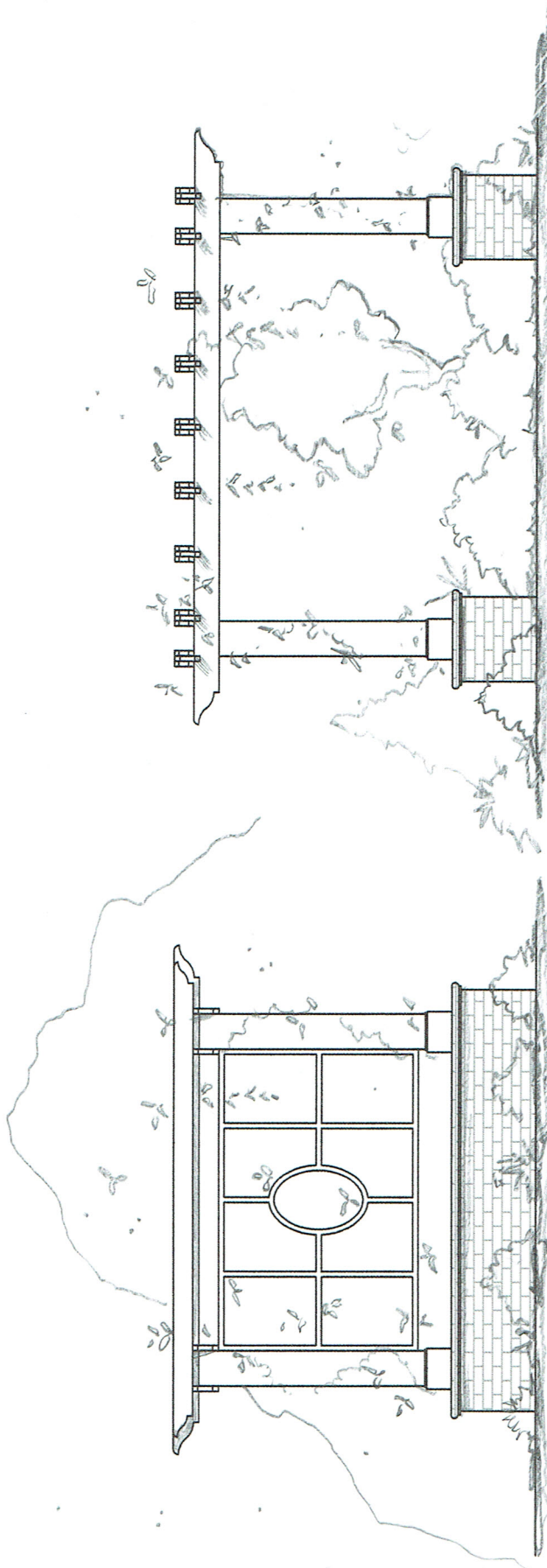
AD SHEET NO. **5**
BD OF

SD1



AMMONS RESIDENCE
 CONCEPTUAL LANDSCAPE/HARDSCAPE PLAN
 FEBRUARY 27, 2026

MARK WESLEY PARSON
 MARKITECTURE



FRONT/REAR ELEVATION 1/4" = 1'-0"

SIDE ELEVATION 1/4" = 1'-0"

AMMONS RESIDENCE
PERGOLA DESIGN

SD3

















COA-2026-00073 (204 Dundee Rd)

ADDITIONAL AGENDA DETAILS:

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the addition of a bathroom at 204 Dundee Rd. The property is identified as Moore County PID Number 00017853. The property owners are Mark and Pamela Markiewicz, and the applicant is Mark Markiewicz.

FROM: Maria Klein, Senior Planner
CC: Historic Preservation Commission;
DATE OF MEMO: 05/15/2026

MEMO DETAILS

ATTACHMENTS

1. Staff Exhibits
2. Applicant Exhibits



PLANNING AND INSPECTIONS DEPARTMENT STAFF REPORT

To: Historic Preservation Commission
From: Michael Mandeville, Senior Planner
CC: Maria Klein, Senior Planner
 Jeanann Dawson, Administrative Specialist
Date: May 20, 2026
Subject: Major COA Request 204 Dundee Road

Applicant:	Mark Markiewicz
Owners:	Mark Markiewicz
Property Location:	204 Dundee Road
Land Use:	Single Family Residential
PID#	00017853
COA#:	2026-00073

Request and Background:

The applicant requests a Certificate of Appropriateness (COA) for a bathroom addition at 204 Dundee Rd. The property is further identified as Moore County PID Number 00017853. The primary structure was built in 1945 and the property is +/- 0.55 acres in size.

The applicant is proposing to add an 11'5" x 5'5½" bathroom within the existing footprint of the primary structure. The total square footage of the addition will be 63 square feet. The materials will include hardie plank siding, white vinyl windows, architectural roofing, and paint that will match the existing materials on the structure.

The public hearing was noticed in accordance with the Pinehurst Development Ordinance and NCGS 160D-406.

Standards of Review

Per the adopted Historic District Standards, new construction or additions not considered to be Minor Work is considered Major Work requiring review by the Historic Preservation Commission for issuance of a Certificate of Appropriateness.

The Commission shall not approve a Certificate of Appropriateness until the evidence presented

meets the standards within the Historic District Standards and/or is determined to satisfy the burden of proof that the proposed request is congruous with the Historic District.

Applicable Standards:

III. CHANGES TO EXISTING RESIDENCES

A. ROOFS

1. SECTION III.A.1 - Any changes or additions to the configuration of an existing roof shall be compatible with the architectural style of the existing structure and **must** be congruous with the Pinehurst Historic District.

I. ADDITIONS AND ACCESSORY BUILDINGS – CARRIAGE HOUSES, GARAGES, AND OTHER BUILDINGS

1. SECTION III.I.1 - Additions and new accessory buildings, such as carriage houses, garages, and other buildings, **must** be compatible with the character and scale of the primary structure and **must** be congruous with the character of the Pinehurst Historic District.
2. SECTION III.I.6 - Windows and doors in additions and accessory buildings **should** be similar to those in the existing primary structure in their proportions, spacing, and materials.
3. SECTION III.I.8 - The foundation height of an addition or accessory building **should** align with that of the primary structure.
4. SECTION III.I.9 - Additions and accessory buildings such as carriage houses, garages and other buildings **must** be located as inconspicuously as possible, in rear or side yards.
5. SECTION III.I.10 - An addition **must not** obscure, damage, or destroy the character-defining features of an historic primary structure.

Staff Comments:

The applicant has submitted an application and provided additional documentation in an attempt to satisfy the burden of proof. The Commission will need to determine if the bathroom addition is congruous with the Historic District and meets the Historic District Standards.



HISTORY, CHARM, AND SOUTHERN HOSPITALITY

May 13, 2026

Dear Property Owner(s),

The Village of Pinehurst Historic Preservation Commission will hold a public hearing on:

Thursday, May 28, 2026
At 4:00 p.m.
At Pinehurst Village Assembly Hall
395 Magnolia Rd. Pinehurst, NC 28374

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for the addition of a bathroom at 204 Dundee Rd. The property is identified as Moore County PID Number 00017853. The property owner is Mark and Pamela Markiewicz, and the applicant is Mark Markiewicz.

As the owner of said property, an adjacent property owner or as the applicant, you are receiving formal notification of this Public Hearing. Information on this request is available for public review at Village Hall, 395 Magnolia Road, Pinehurst, North Carolina during regular business hours. Information on the hearing will be posted online the week of the meeting at: <https://pinehurstnc.portal.civicclerk.com/>.

The meeting will be streamed in real-time on the Village's website, at www.vopnc.org/live.

The applicant, the local government, and any person who would have standing to appeal the decision under PDO Section 4.3.1(F)5 shall have the right to participate as a party at the evidentiary hearing. Other witnesses may present competent, material, and substantial evidence that is not repetitive as allowed by the board. All persons wishing to be heard should be present during the public hearing so that the facts presented are made a matter of record.

For more information, please call (910) 295-1900.

PLANNING & INSPECTIONS

395 Magnolia Road • Pinehurst, NC 28374 • Telephone (910) 295-2581 • Fax (910) 295-1396 • www.vopnc.org

Public Hearing Notification

Exhibit S-1.4



May 28, 2026

Historic Preservation Commission 204 Dundee Road Major COA Request



HAGENDORN, UWE H
220 DUNDEE RD
PINEHURST,NC,28374

GENDRON, DAVID L
105 SHORT RD
PINEHURST,NC,28374

AVERITTE, ANGELA
115 SHORT RD
PINEHURST,NC,28374

ADKINS, KIRK S
70 E CAROLINA VISTA
PINEHURST,NC,28374

MARKIEWICZ, MARK ALAN &
4411 MOTTISFONT ABBEY LANE
CHARLOTTE,NC,28226

MCCARTY, MICHAEL T
PO BOX 3572
PINEHURST,NC,28374

BOOKER, SCOTT B & MARGARET R
180 DUNDEE RD
PINEHURST,NC,28374

BOOKER, SCOTT B & MARGARET R
180 DUNDEE RD
PINEHURST,NC,28374

COA-2026-00073 - Bathroom Addition

Menu Help

File Date: [04/26/2026](#)

Application Status: [In Review](#)

Application Type: [Historic Certificate of Appropriateness - Major](#)

Application Detail: [Detail](#)

Description of Work: [Add bathroom addition to existing cottage, in front of house within existing footprint, maintain existing design and materials](#)

Application Name: [Bathroom Addition](#)

Address: [204 Dundee Rd, Pinehurst, North Carolina 28374](#)

Owner Name: [MARKIEWICZ, MARK ALAN & MARKIEWICZ, PAMELA MILLER](#)

Owner Address: [4411 Mottisfont Abbey Ln, Charlotte, NC 28226](#)

Parcel No: [00017853](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	MARKIEWICZ, MARK ALAN & MARKIEWICZ, MARK ALAN &	MARKIEWICZ, MAR...	Applicant		Active
	MARKIEWICZ, MARK ALAN & MARKIEWICZ, MARK ALAN &	MARKIEWICZ, MAR...	Applicant		Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$500.00](#)

Total Fee Invoiced: [\\$500.00](#)

Balance: [\\$0.00](#)

Custom Fields: GENERAL INFORMATION

Description of Changes to the Structure	Type of Work	Existing Use
Addition to front of cottage in existing vacant area. Add roof to align with existing structure.	Addition	Single Family Low Density
Proposed Use	Includes Demolition?	Includes Tree Removal?
Single Family Low Density	No	No
COA Number	Conditions of COA (If Any)	
-	-	

PERMIT DATES

Application Expiration Date	Permit Issued Date	Permit Expiration Date
-	-	-

FRONT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

REAR ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

RIGHT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

LEFT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

TRIM

Existing Material Existing Color Proposed Material Proposed Color

[Same as Existing](#) Same as Existing Same as Existing

WINDOWS

Existing Material Existing Color Proposed Material Proposed Color

[Match to existing](#)

CHIMNEY

Existing Material Existing Color Proposed Material Proposed Color

FOUNDATION

Existing Material Existing Color Proposed Material Proposed Color

FRONT DOOR

Existing Material Existing Color Proposed Material Proposed Color

SHUTTERS

Existing Material	Existing Color	Proposed Material	Proposed Color
GARAGE DOOR			
Existing Material	Existing Color	Proposed Material	Proposed Color
ROOF			
Existing Material	Existing Color	Proposed Material	Proposed Color
Same as Existing			
ROOF EXHAUST VENTS			
Existing Material	Existing Color	Proposed Material	Proposed Color
FRONT PORCH			
Existing Material	Existing Color	Proposed Material	Proposed Color
DECK			
Existing Material	Existing Color	Proposed Material	Proposed Color
PATIO			
Existing Material	Existing Color	Proposed Material	Proposed Color
SIDEWALK			
Existing Material	Existing Color	Proposed Material	Proposed Color
SKY LIGHTS			
Existing Material	Existing Color	Proposed Material	Proposed Color
DRIVEWAY			
Existing Material	Existing Color	Proposed Material	Proposed Color
HOUSE NUMBER			
Existing Material	Existing Color	Proposed Material	Proposed Color
OTHER			
Existing Material	Existing Color	Proposed Material	Proposed Color

Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Acceptance		Accepted	04/27/2026	Maria Klein
	Review for Completeness				
	Review Distribution				
	Historic Review				
	Planning Review				
	Review Consolidation				
	HPC Public Hearing Notice				
	Property Owner Notific...				
	Staff Report				
	HPC Hearing				
	COA Issued				
	Inspection				

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By

Documents:	File Name	Document Group	Category	Description	Type	Docun
	Markiewicz Historic Su...	PLN_HIST	Building Elevat...	Include elevations ...	application/pdf	Uploac
	survey	PLN_HIST			application/pdf	Uploac
	material examples	PLN_HIST			image/x-png	Uploac
	material examples	PLN_HIST			image/x-png	Uploac
	material examples	PLN_HIST			image/x-png	Uploac
	paint	PLN_HIST			image/jpeg	Uploac
	Show all					

Application Comments:	View ID	Comment	Date

Initiated by Product: ACA

Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments

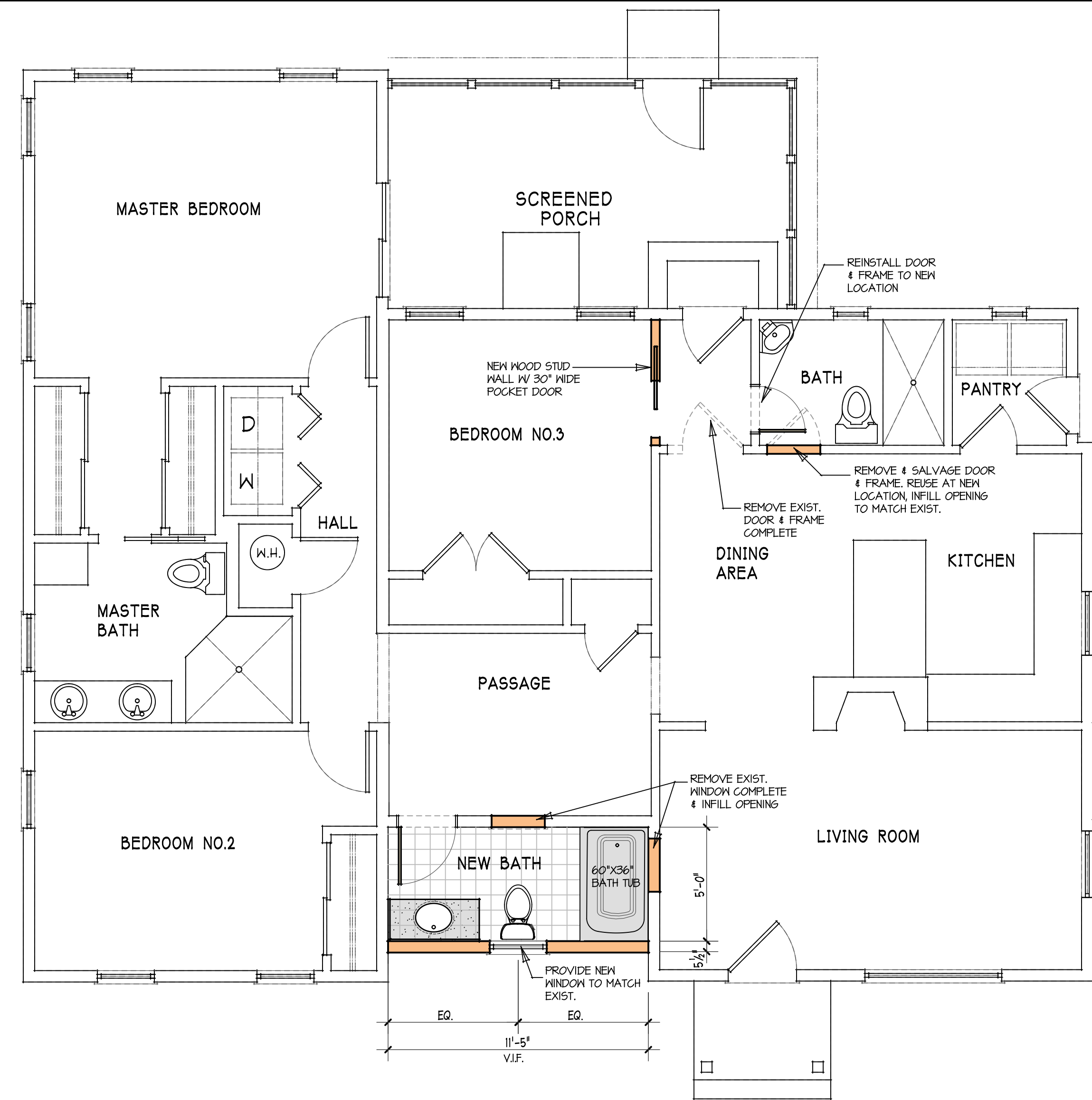
Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments

Required Inspections:



EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"



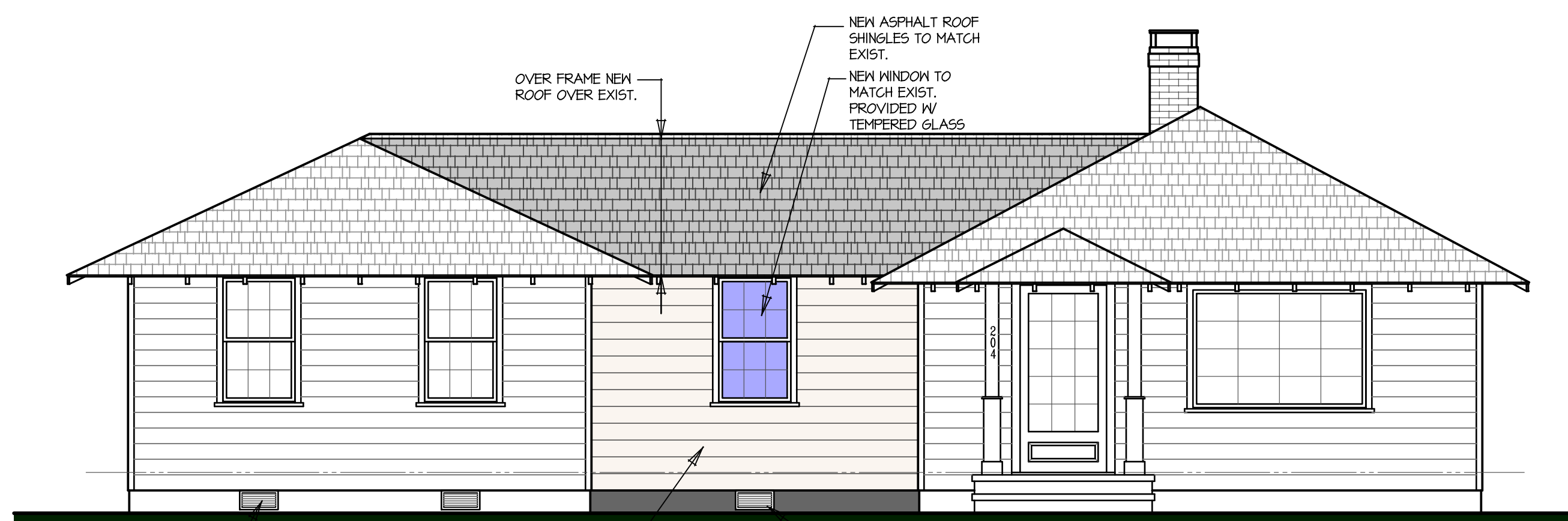
NEW FLOOR PLAN

SCALE: 1/4"=1'-0"



EXISTING FRONT ELEVATION

SCALE: 1/4"=1'-0"



NEW FRONT ELEVATION

SCALE: 1/4"=1'-0"

HOME ADDITION & RENOVATION
FOR
MARK & PAMELA MARKIEWICZ
204 DUNDEE ROAD PINEHURST, NC

MARCH 23, 2026

A1.1



EXISTING FRONT ELEVATION



HOME ADDITION & RENOVATION
FOR
MARK & PAMELA MARKIEWICZ
204 DUNDEE ROAD PINEHURST, NC

MARCH 23, 2026

A1.2

Exhibit A-2.3

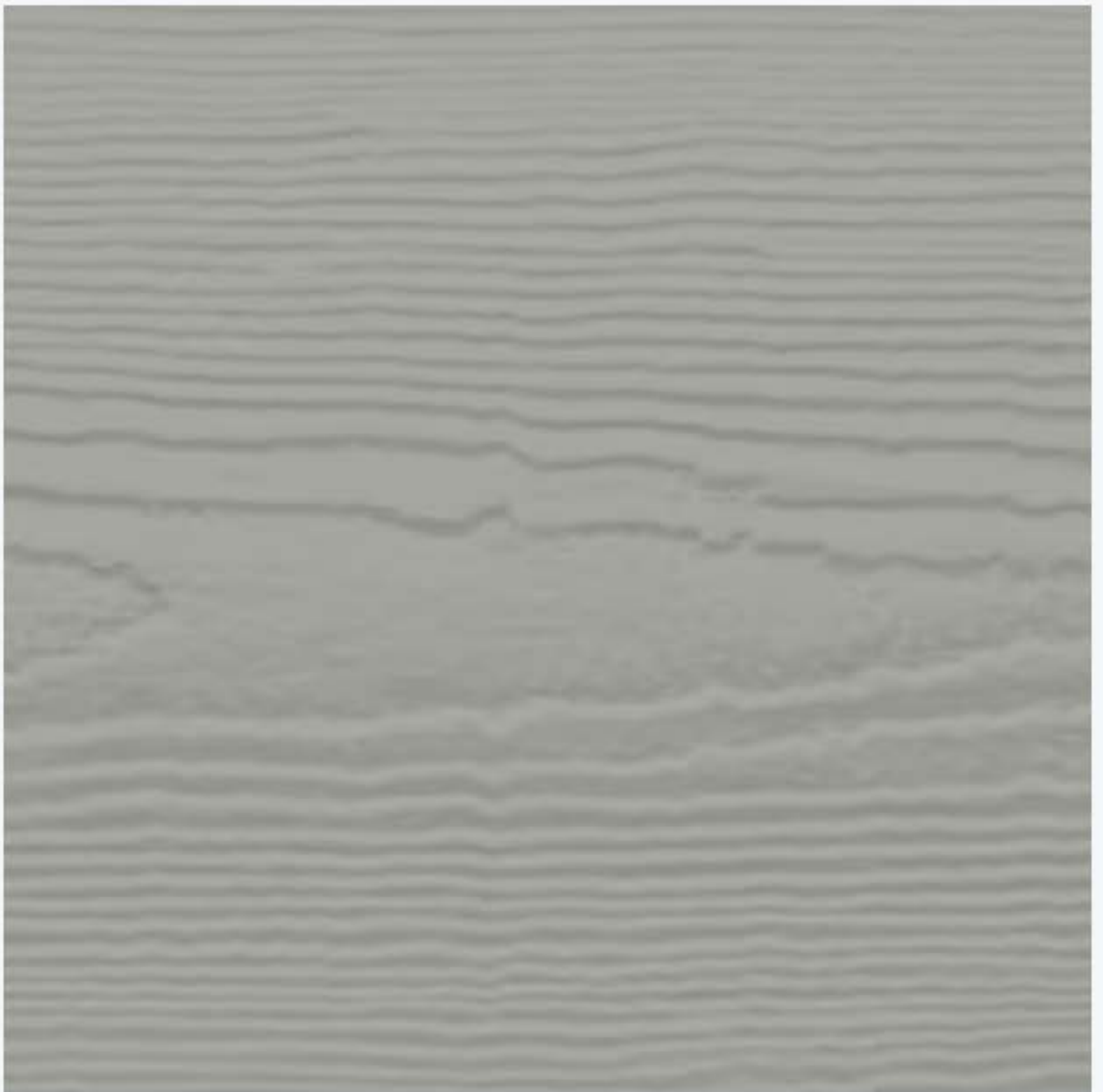


+ 5
more

CertainTeed

Landmark Moire Black Algae Resistant

Architectural Roof Shingles (33.33-sq ft per



+ 14
more

James Hardie

Statement Collection 4.0-in x 6.25-in Pearl
Gray Fiber Cement Siding Sample



United Window & Door

PRO Series White Exterior White Interior Vinyl
Replacement Double Pane Glass Low-E Argon...

Exhibit A-2.6



WIND'S BREATH OC-2A



COA-2026-00078 (10 McLeod Rd)

ADDITIONAL AGENDA DETAILS:

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for replacement of roofing from asphalt shingles to stone-coated metal roofing at 10 McLeod Rd. The property is identified as Moore County PID Number 00023674.

The property owner is Anthony Neaverth and the applicant is Erie Construction Mid-West, LLC.

FROM: Maria Klein, Senior Planner
CC: Historic Preservation Commission;
DATE OF MEMO: 05/15/2026

MEMO DETAILS

ATTACHMENTS

1. Staff Exhibits
2. Applicant Exhibits



PLANNING AND INSPECTIONS DEPARTMENT STAFF REPORT

To: Historic Preservation Commission
From: Maria Klein, Senior Planner
CC: Michael Mandeville, Senior Planner
 Jeanann Dawson, Administrative Specialist
Date: May 20, 2026
Subject: Major COA Request 10 McLeod Rd.

Applicant:	Erie Construction Mid-West LLC
Owners:	Anthony Neaverth
Property Location:	10 McLeod Rd.
Land Use:	Single Family Residential
PID#	00023674
COA#:	2026-00078

Request and Background:

The applicant requests a Certificate of Appropriateness (COA) for replacing asphalt shingles roofing with stone coated metal roofing at 10 McLeod Rd. The property is further identified as Moore County PID Number 00023674. The primary structure was built in 1977 and the property is +/- 0.448 acres in size.

The applicant is proposing to replace the existing asphalt shingle roof with stone coated metal roofing in Spanish Red.

The public hearing was noticed in accordance with the Pinehurst Development Ordinance and NCGS 160D-406.

Standards of Review

Per the adopted Historic District Standards, replacement of roofing with a different material or style is considered Major Work requiring review by the Historic Preservation Commission for issuance of a Certificate of Appropriateness.

The Commission shall not approve a Certificate of Appropriateness until the evidence presented meets the standards within the Historic District Standards and/or is determined to satisfy the

burden of proof that the proposed request is congruous with the Historic District.

Applicable Standards:

III. CHANGES TO EXISTING RESIDENCES

A. ROOFS

1. SECTION III.A.4 - If repair or replacement of an entire roof is necessary, the new material *should* match the existing material in composition, dimension, size, shape, color, pattern and texture.

Staff Comments:

The applicant has submitted an application and provided additional documentation in an attempt to satisfy the burden of proof. The Commission will need to determine if the change of roofing style and color is congruous with the Historic District and meets the Historic District Standards.



HISTORY, CHARM, AND SOUTHERN HOSPITALITY _____

May 13, 2026

Dear Property Owner(s),

The Village of Pinehurst Historic Preservation Commission will hold a public hearing on:

Thursday, May 28th, 2026
At 4:00 p.m.
At Pinehurst Village Assembly Hall
395 Magnolia Rd. Pinehurst, NC 28374

The purpose of this public hearing is to consider a request for a Major Certificate of Appropriateness within the Pinehurst Historic District for replacement of roofing from asphalt shingles to stone-coated metal roofing at 10 McLeod Rd. The property is identified as Moore County PID Number 00023674. The property owner is Anthony Neaverth and the applicant is Erie Construction Mid-West, LLC.

As the owner of said property, an adjacent property owner or as the applicant, you are receiving formal notification of this Public Hearing. Information on this request is available for public review at Village Hall, 395 Magnolia Road, Pinehurst, North Carolina during regular business hours. Information on the hearing will be posted online the week of the meeting at: <https://pinehurstnc.portal.civicclerk.com/>.

The meeting will be streamed in real-time on the Village's website, at www.vopnc.org/live.

The applicant, the local government, and any person who would have standing to appeal the decision under PDO Section 4.3.1.F.5 shall have the right to participate as a party at the evidentiary hearing. Other witnesses may present competent, material, and substantial evidence that is not repetitive as allowed by the board. All persons wishing to be heard should be present during the public hearing so that the facts presented are made a matter of record.

For more information, please call (910) 295-1900.

PLANNING & INSPECTIONS

395 Magnolia Road • Pinehurst, NC 28374 • Telephone (910) 295-2581 • Fax (910) 295-1396 • www.vopnc.org

Public Hearing Notification

EXHIBIT S-1.4



None, Esri Community Maps Contributors, Moore County GIS (NC), State of North Carolina, OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnol, USGS, EPA, NPS, US Census

Legend

- Subject Property
- Adjacent Properties Notified
- Notified



Village of Pinehurst Disclaimer: It is understood that the data contained herein is subject to constant change and that its accuracy cannot be guaranteed. The maps have been created from information provided by various government and private sources at various levels of accuracy. The data is provided to you "as is" with no warranty, representation or guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided herein. It is the responsibility of the user of the data to be aware of the data's limitations and to utilize the data in an appropriate manner. Any resale of this data is strictly prohibited in accordance with North Carolina General Statutes 132-10. Grid is based on North Carolina State Plane Coordinate System NAD83 (feet).

5/11/2026

May 28, 2026
Historic Preservation Commission
10 McLeod Rd Major COA Request



MEADE, KIMBERLY D
165 PAGE RD
PINEHURST,NC,28374

PELLERITO, PETER M
20 MCLEOD ROAD
PINEHURST,NC,28374

BOWEN, RALPH JR
15 MCLEOD RD
PINEHURST,NC,28374-8817

NEAVERTH, ANTHONY J
10 MCLEOD ROAD
PINEHURST,NC,28374

MAIDES, DABNEY R
303 WOODWAY DR
GREER,SC,29651-6838

CAPPUCCINO, NICHOLAS ANTHONY
5 MCLEOD RD
PINEHURST,NC,28374

COA-2026-00078 - R018-143473 Neaverth

EXHIBIT A-1.1

Menu Help

File Date: [04/30/2026](#)

Application Status: [In Review](#)

Application Type: [Historic Certificate of Appropriateness - Major](#)

Application Detail: [Detail](#)

Description of Work: [Erie to remove existing roofing and properly dispose. Erie to furnish and install ice and water shield where applicable. Erie to furnish and install stone-coated metal roofing. Erie to furnish and install all accessories that may include drip edge, pipe boots, and flashing. Erie to furnish and install Premium Synthetic Underlayment. Erie to vent roof properly. Erie to furnish and install decking with OSB where applicable.](#)

Application Name: [R018-143473 Neaverth](#)

Address: [10 MCLEOD, PH, 28374](#)

Owner Name: [NEAVERTH, ANTHONY J](#)

Owner Address: [10 MCLEOD ROAD, PINEHURST, NC 28374](#)

Parcel No: [00023674](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	Natasha White	ERIE CONSTRUCTI...	Applicant	3516, GRANITE CIRCLE O...	Active
	Natasha White	ERIE CONSTRUCTI...	Applicant		Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$500.00](#)

Total Fee Invoiced: [\\$500.00](#)

Balance: [\\$0.00](#)

Custom Fields: GENERAL INFORMATION

Description of Changes to the Structure	Type of Work	Existing Use
ERIE IS CHANGING SHINGLES FROM ASPHALT TO BARREL V	Alteration	Single Family Medium Density
AULT TILE SPANISH RED		
Proposed Use	Includes Demolition?	Includes Tree Removal?
Single Family Medium Density	No	No
COA Number	Conditions of COA (If Any)	
-	-	

PERMIT DATES

Application Expiration Date	Permit Issued Date	Permit Expiration Date
-	-	-

FRONT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

REAR ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

RIGHT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

LEFT ELEVATION

Existing Material Existing Color Proposed Material Proposed Color

TRIM

Existing Material Existing Color Proposed Material Proposed Color

WINDOWS

Existing Material Existing Color Proposed Material Proposed Color

CHIMNEY

Existing Material Existing Color Proposed Material Proposed Color

FOUNDATION

Existing Material Existing Color Proposed Material Proposed Color

FRONT DOOR

Existing Material Existing Color Proposed Material Proposed Color

SHUTTERS

Existing Material Existing Color Proposed Material Proposed Color

GARAGE DOOR

Existing Material Existing Color Proposed Material Proposed Color

ROOF

Existing Material Existing Color Proposed Material Proposed Color

ASPHALT GRAY METAL BARREL VAULT SPANISH RED

ROOF EXHAUST VENTS

Existing Material Existing Color Proposed Material Proposed Color

FRONT PORCH

Existing Material Existing Color Proposed Material Proposed Color

DECK

Existing Material Existing Color Proposed Material Proposed Color

PATIO

Existing Material Existing Color Proposed Material Proposed Color

SIDEWALK

Existing Material Existing Color Proposed Material Proposed Color

SKY LIGHTS

Existing Material Existing Color Proposed Material Proposed Color

DRIVEWAY

Existing Material Existing Color Proposed Material Proposed Color

HOUSE NUMBER

Existing Material Existing Color Proposed Material Proposed Color

OTHER

Existing Material Existing Color Proposed Material Proposed Color

Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Acceptance		Accepted	04/30/2026	Maria Klein
	Review for Completeness		In Progress	04/30/2026	Maria Klein
	Review Distribution				
	Historic Review				
	Planning Review				
	Review Consolidation				
	HPC Public Hearing Notice				
	Property Owner Notific...				
	Staff Report				
	HPC Hearing				
	COA Issued				
	Inspection				

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
-------------------	------	----------------	--------	------------	----------	-----------

Documents:	File Name	Document Group	Category	Description	Type	Document Status	Document Status Date
	image (1).jpg	PLN_HIST	Photo	PHOTO OF CURRENT ROOF	image/jpeg	Uploaded	04/30/2026
	image (10).jpg	PLN_HIST	Photo	PHOTO OF CURRENT ROOF	image/jpeg	Uploaded	04/30/2026
	image (11).jpg	PLN_HIST	Photo	PHOTO OF CURRENT ROOF	image/jpeg	Uploaded	04/30/2026
	image (12).jpg	PLN_HIST	Photo	PHOTO OF CURRENT ROOF	image/jpeg	Uploaded	04/30/2026
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	image (6).jpg	PLN_HIST	Photo	PHOTO OF CURRENT ROOF	image/jpeg	Uploaded	04/30/2026
	image (7).jpg	PLN_HIST	Photo	PHOTO OF CURRENT ROOF	image/jpeg	Uploaded	04/30/2026
	image (8).jpg	PLN_HIST	Photo	PHOTO OF CURRENT ROOF	image/jpeg	Uploaded	04/30/2026
	image (9).jpg	PLN_HIST	Photo	PHOTO OF CURRENT ROOF	image/jpeg	Uploaded	04/30/2026
	image.jpg	PLN_HIST	Photo	PHOTO OF CURRENT ROOF	image/jpeg	Uploaded	04/30/2026
	NEAVERTH (R018-143473)...	PLN_HIST	Other	MATERIAL LIST	application/vnd.ms-...	Uploaded	04/30/2026
	R018-143473 - Anthony...	PLN_HIST	Site Plan	CONTRACT AND SPEC S...	application/pdf	Uploaded	04/30/2026
	Tony - eagle view (1).pdf	PLN_HIST	Other	EAGEL VIEW SHOWING ...	application/pdf	Uploaded	04/30/2026
	WESTLAKE BARREL VAULT ...	PLN_HIST	Other	DESCRIPTION OF NEW ...	application/pdf	Uploaded	04/30/2026

[Show all](#)

Application Comments:	View ID	Comment	Date
-----------------------	---------	---------	------

Initiated by Product: ACA

Scheduled/Pending Inspections: Inspection Type Scheduled Date Inspector Status Comments

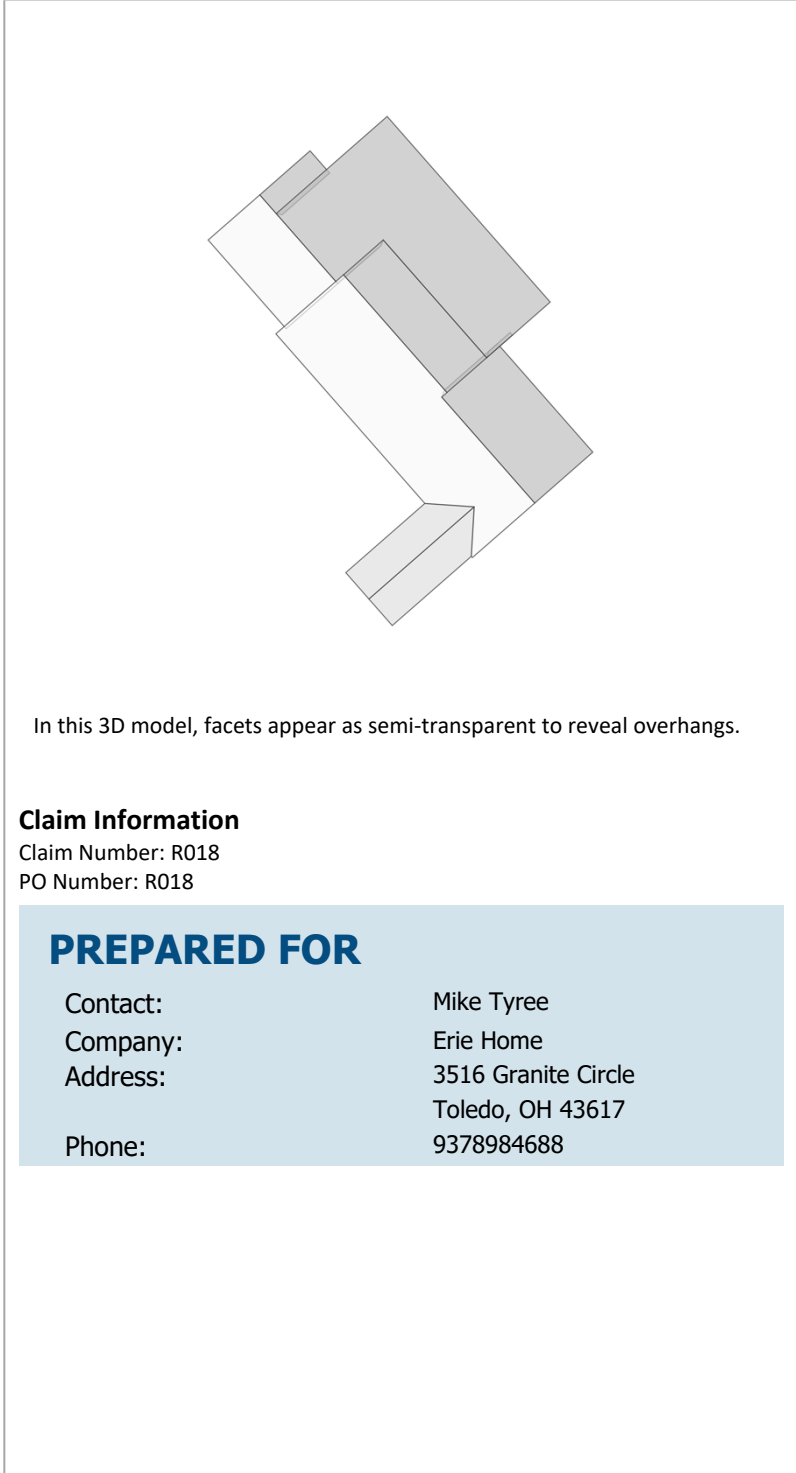
Resulted Inspections: Inspection Type Inspection Date Inspector Status Comments

Required Inspections:



EXHIBIT A-22

10 McLeod Rd, Pinehurst, NC 28374 Report: 70550121



In this 3D model, facets appear as semi-transparent to reveal overhangs.

Claim Information

Claim Number: R018
PO Number: R018

PREPARED FOR

Contact: Mike Tyree
Company: Erie Home
Address: 3516 Granite Circle
Toledo, OH 43617
Phone: 9378984688

TABLE OF CONTENTS

Images1
Length Diagram4
Pitch Diagram5
Area Diagram6
Notes Diagram.....7
Report Summary.....8

MEASUREMENTS

- Total Roof Area =3,984 sq ft
- Total Roof Facets =9
- Predominant Pitch =5/12
- Number of Stories <=1
- Total Ridges/Hips =114 ft
- Total Valleys =21 ft
- Total Rakes =182 ft
- Total Eaves =201 ft
- Estimated Attic=349 sq ft

Measurements provided by www.eagleview.com



Certified Accurate

www.eagleview.com/Guarantee.aspx

IMAGES

The following aerial images show different angles of this structure for your reference.

Top View

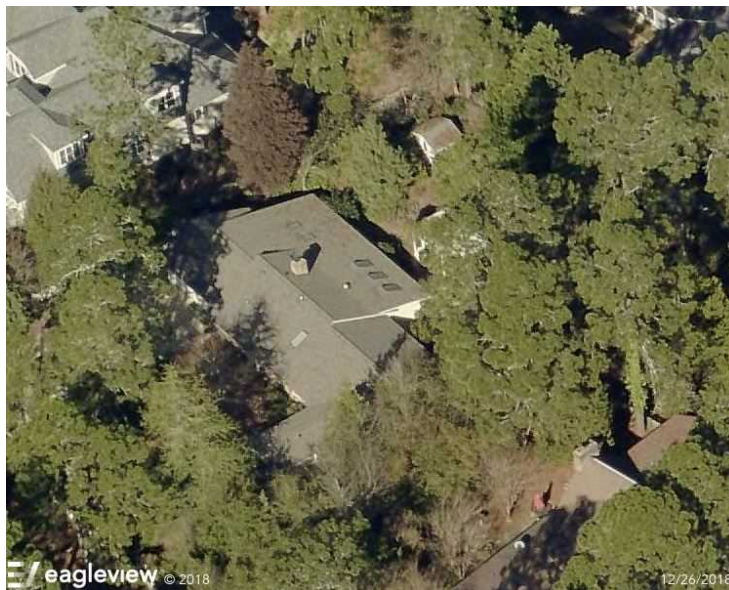


IMAGES

North Side



South Side

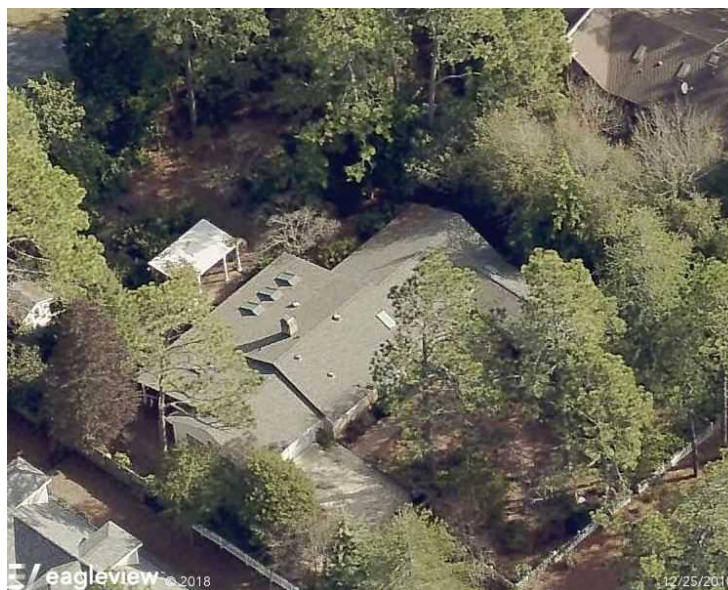


IMAGES

East Side



West Side



LENGTH DIAGRAM

Total Line Lengths:

Ridges = 114 ft

Hips = 0 ft

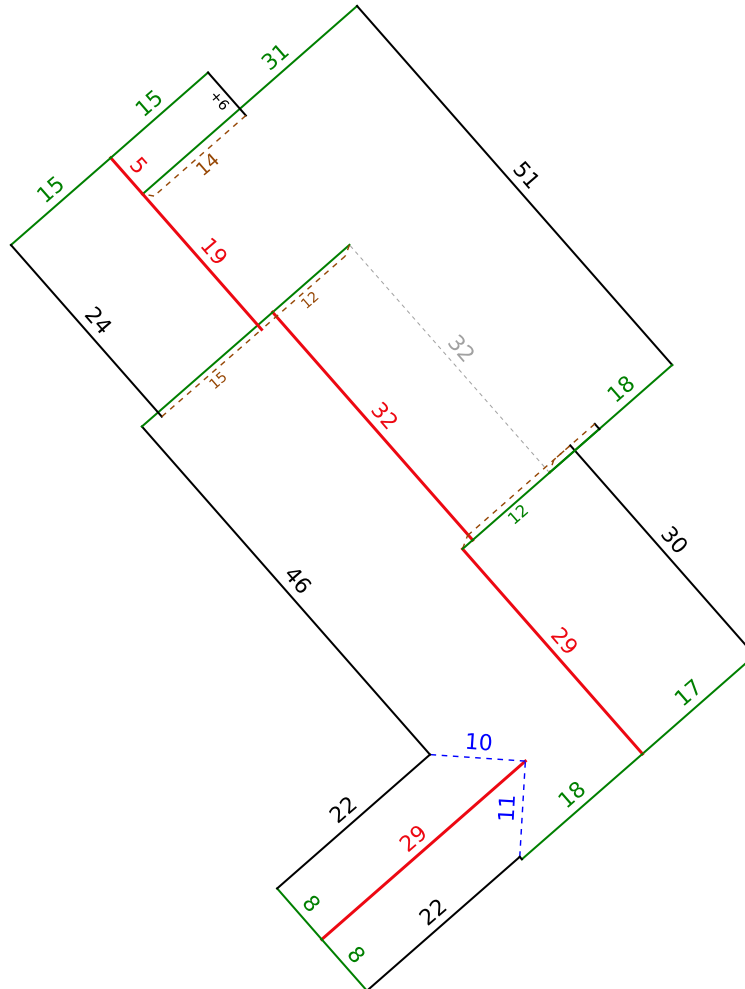
Valleys = 21 ft

Rakes = 182 ft

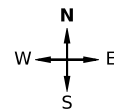
Eaves = 201 ft

Flashing = 0 ft

Step flashing = 69 ft

Parapets = 0 ft


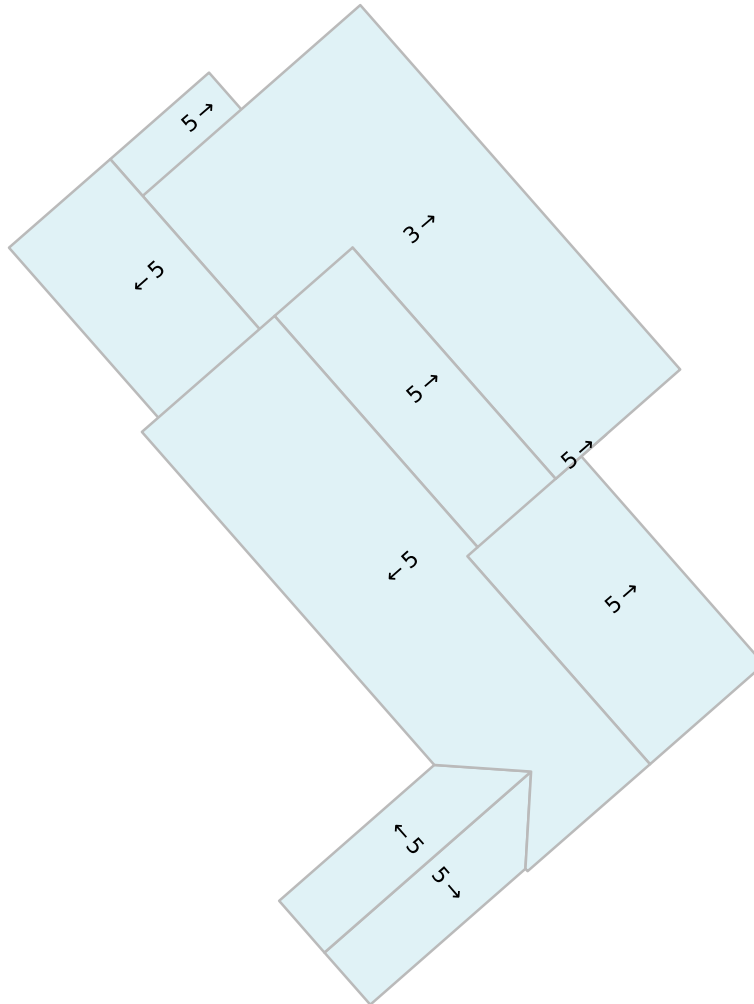
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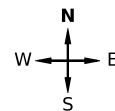
Note: This diagram contains segment lengths (rounded to the nearest whole number) over 5.0 Feet. In some cases, segment labels have been removed for readability. Plus signs preface some numbers to avoid confusion when rotated (e.g. +6 and +9).

PITCH DIAGRAM

Pitch values are shown in inches per foot, and arrows indicate slope direction. The predominant pitch on this roof is 5/12



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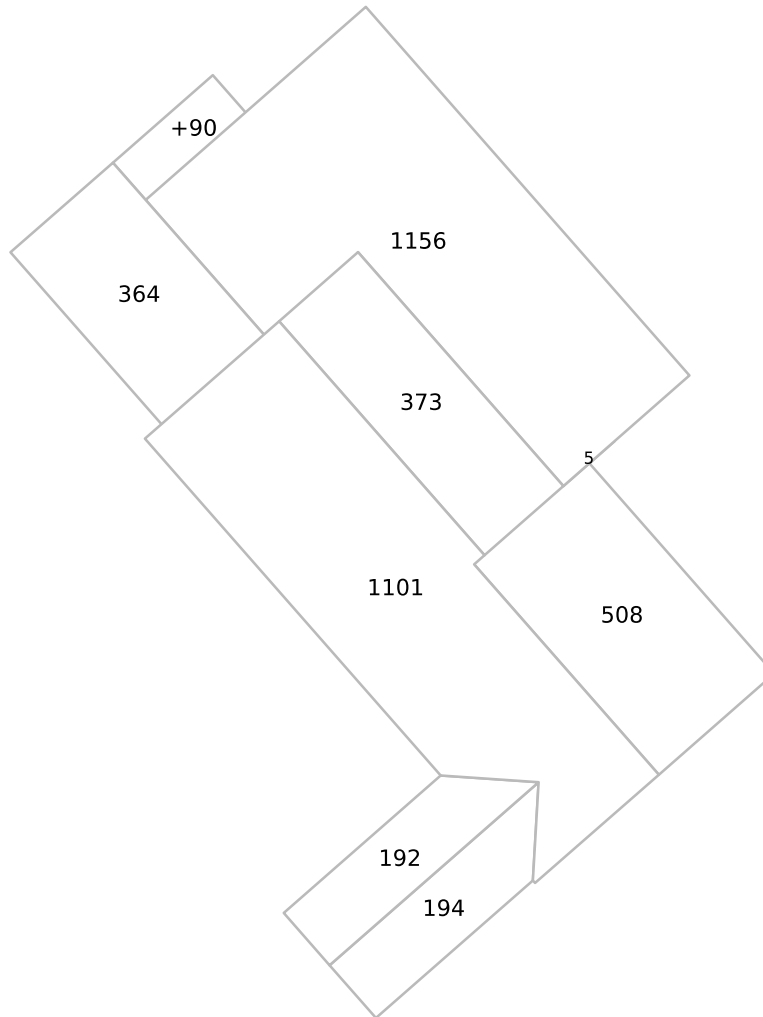
Note: This diagram contains labeled pitches for facet areas larger than 20.0 square feet. In some cases, pitch labels have been removed for readability. Blue shading indicates a pitch of 3/12 and greater.

10 McLeod Rd, Pinehurst, NC 28374

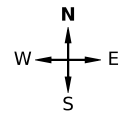
Report: 70550121

AREA DIAGRAM

Total Area = 3,984 sq ft, with 9 facets.



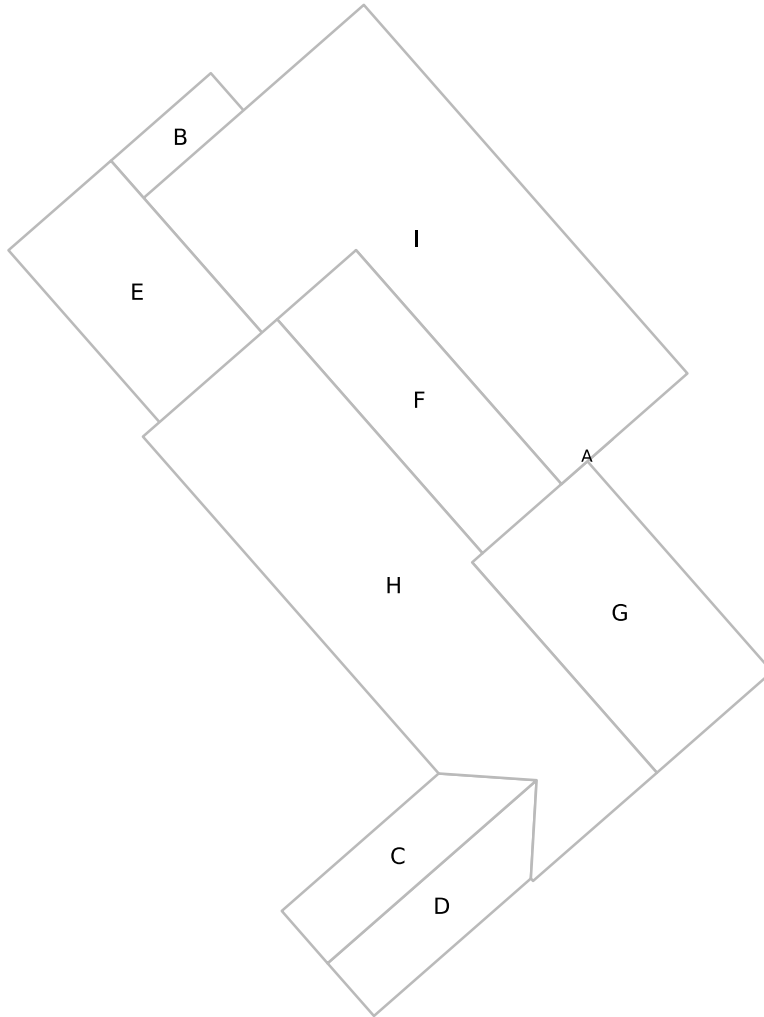
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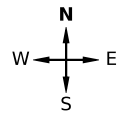
Note: This diagram shows the square feet of each roof facet (rounded to the nearest Foot). The total area in square feet, at the top of this page, is based on the non-rounded values of each roof facet (rounded to the nearest square foot after being totaled).

NOTES DIAGRAM

Roof facets are labeled from smallest to largest (A to Z) for easy reference.



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REPORT SUMMARY

All Structures

Areas per Pitch		
Roof Pitches	3/12	5/12
Area (sq ft)	1156.0	2827.7
% of Roof	29%	71%

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

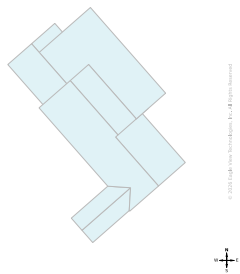
Structure Complexity		
Simple	Normal	Complex

Waste Calculation									
NOTE: This waste calculation table is for asphalt shingle roofing applications. All values in table below only include roof areas of 3/12 pitch or greater. For total measurements of all pitches, please refer to the Lengths, Areas, and Pitches section below.									
Waste %	0%	2%	5%	7%	9%	12%	17%	22%	27%
Area (Sq ft)	3984	4064	4184	4263	4343	4463	4662	4861	5060
Squares *	40.00	40.66	42.00	42.66	43.66	44.66	46.66	48.66	50.66
	Measured			Suggested					

* Squares are rounded up to the 1/3 of a square

Additional materials needed for ridge, hip, and starter lengths are not included in the above table. The provided suggested waste factor is intended to serve as a guide—actual waste percentages may differ based upon several variables that EagleView does not control. These waste factor variables include, but are not limited to, individual installation techniques, crew experiences, asphalt shingle material subtleties, and potential salvage from the site. Individual results may vary from the suggested waste factor that EagleView has provided. The suggested waste is not to replace or substitute for experience or judgment as to any given replacement or repair work.

All Structures Totals



Total Roof Facets = 9

Lengths, Areas and Pitches

Ridges = 114 ft (5 Ridges)
 Hips = 0 ft (0 Hips)
 Valleys = 21 ft (2 Valleys)
 Rakes[†] = 182 ft (13 Rakes)
 Eaves/Starter[‡] = 201 ft (9 Eaves)
 Drip Edge (Eaves + Rakes) = 383 ft (22 Lengths)
 Parapet Walls = 0 (0 Lengths)
 Flashing = 0 ft (0 Lengths)
 Step flashing = 69 ft (9 Lengths)
 Predominant Pitch = 5/12

Total Area (All Pitches) = 3,984 sq ft

Property Location

Longitude = -79.4581410
 Latitude = 35.2020560

Notes

This was ordered as a residential property. There were no changes to the structure in the past four years.

† Rakes are defined as roof edges that are sloped (not level).
 ‡ Eaves are defined as roof edges that are not sloped and level.

10 McLeod Rd, Pinehurst, NC 28374

Report: 70550121

Online Maps

Online map of property

http://maps.google.com/maps?f=q&source=s_q&hl=en&geocode=&q=10+McLeod+Rd,Pinehurst,NC,28374

Directions from Erie Home to this property

http://maps.google.com/maps?f=d&source=s_d&saddr=3516+Granite+Circle,Toledo,OH,43617&daddr=10+McLeod+Rd,Pinehurst,NC,28374



10 McLeod Rd, Pinehurst, NC 28374

Report: 70550121

IMPORTANT LEGAL NOTICE AND DISCLAIMER

Notice and Disclaimer

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Contractors agree to always conduct a preliminary site survey to verify Roof Report ordered. In the event of an error in a Report, your sole remedy will be a refund of the fees paid by you to obtain this Report.



Product Information



Product Name:	BARREL-VAULT Tile - Spanish Red
SKU Number:	4DDP9732500
Product Type:	Ultra Light Weight
Profile:	Barrel-Vault Tile
Color Description:	Red
Installation Type:	Direct or Batten
Pallet Layout:	Left-to-Right (Only)
Fastening:	Through
Batten Spacing:	14 in (356mm)
Available Regions:	National
Architectural Styles:	Ranch, European, Farmhouse, Coastal, Eclectic
Materials:	Steel
Style:	High Barrel
Weight:	Ultra Light Weight
Benefits & Features:	Cool Roof System Compatible, Class-4 Hail Impact Resistance, Class A Fire Rated, Hurricane Wind Performance Rated, CCMC Rated Product, VSH Hail Impact Resistance
Brand:	Unified Steel® Stone Coated Roofing

Product Specifications

Size:	14 x 43.625 in (356 x 1108 mm)	Panels per Container Size 20ft (6.1 M)	
Coverage:	14 x 43.625 in (356 x 1108 mm)	With Accessories:	5400
Approx. Installed Weight:	132 lbs	No Accessories:	6120
Panels per 100 Sq Ft:	24	Pallets per Container Size 20ft (6.1 M)	
Sq M per Panel:	0.46	With Accessories:	13.5
Panels per Pallet:	360	No Accessories:	17
Squares per Pallet:	15		
Sq M per Pallet:	166		
Approx. Weight per Pallet:	2055 lbs		
Pallets per Full Truck:	15		
Squares per Full Track:	300		

Cool Roof Tested Information

Reflectivity:	0.14
Emissivity:	0.89
SRI:	11

Internal lab results, not listed with the Cool Roof Rating Council (CRRC).









**Minor Work COA's Issued 4/15/2026 - 5/14/2026
ADDITIONAL AGENDA DETAILS:**

FROM: Maria Klein, Senior Planner
CC: Historic Preservation Commission;
DATE OF MEMO: 05/15/2026

MEMO DETAILS

ATTACHMENTS

1. Minor COAs Issued 4/15/26 - 5/14/26



PLANNING AND INSPECTIONS DEPARTMENT

TO: Pinehurst Historic Preservation Commission
FROM: Maria Klein, Senior Planner
DATE: May 20, 2026
SUBJECT: Minor Work COA's Issued 4/15/2026 – 5/14/2026

**REPORT OF STAFF APPROVALS
MAY 28, 2026 MEETING
4/15/2026 – 5/14/2026**

Record #	Nature of Work	Application Date	Issued Date	Address	Property Owner
COA-2026-00066	Install shed & trellis	4/17/2026	4/21/2026	35 Craig Rd	Gregory Babich
COA-2026-00076	Garden Gazebo	4/29/2026	5/6/2026	76 Fields Rd	Edward Monroe
COA-2026-00077	Patio & Walkway	4/29/2026	5/1/2026	110 Short Rd	Sean Carroll
COA-2026-00079	Fence	5/6/2026	5/6/2026	85 Woods Rd	Druther Home Investments, LLC
COA-2026-00081	Accessory Building	5/7/2026	5/7/2026	335 Linden Rd	Eric Morski
COA-2026-00082	Screen Porch	5/7/2026	5/15/2026	105 Saville Row	Mark Shorback
COA-2026-00084	Accessory Building	5/11/2026	5/13/2026	240 Everette Rd	Sarah Clarke