



**HISTORIC PRESERVATION COMMISSION
AGENDA FOR WORK SESSION OF OCTOBER 26, 2023
ASSEMBLY HALL**

PINEHURST, NORTH CAROLINA

1. Call to Order.

2. Discuss Revisions to the Historic District Standards

The purpose of this work session agenda item is for Commission and Staff to discuss potential revisions to the Historic District Standards.

A potential redline document for discussion by the group has been drafted by a Commission member with some input by others. Staff and the Commission will need to discuss the draft and goals moving forward.

3. Adjournment.

Vision: The Village of Pinehurst is a charming, vibrant community which reflects our rich history and traditions.

Mission: Promote, enhance, and sustain the quality of life for residents, businesses, and visitors.

Values: Service, Initiative, Teamwork, and Improvement.



**DISCUSS REVISIONS TO THE HISTORIC DISTRICT STANDARDS
ADDITIONAL AGENDA DETAILS:**

The purpose of this work session agenda item is for Commission and Staff to discuss potential revisions to the Historic District Standards.

A potential redline document for discussion by the group has been drafted by a Commission member with some input by others. Staff and the Commission will need to discuss the draft and goals moving forward.

FROM:

mcarpenter@vopnc.org

CC:

acameron@vopnc.org; pgraham@vopnc.org; mmandeville@vopnc.org; skonstantinou@vopnc.org

DATE OF MEMO:

10/18/2023

MEMO DETAILS:

Please see attached materials relating to this item.

ATTACHMENTS:

Description

- ☐ Sec III B-C-D-E-F clean
- ☐ Sec III B-C-D-E-F redline
- ☐ Tree Discussion

B. EXTERIOR WALLS AND TRIM

1. Any changes or additions to an exterior wall, such as windows or door openings, bays, vents, balconies or chimneys, **must** be compatible with the architecture of the structure and **must** be congruous with the Pinehurst Historic District.
2. Exterior walls that contribute to the historic form and character of a structure must be retained and preserved, including functional and decorative features such as cornices, foundations, bays, quoins, arches, water tables, brackets, and entablatures.
3. If an existing exterior wall feature is completely missing and is to be replaced, it should be replaced with a new feature based on the original feature or a new design compatible in scale, size, material and color with the character of the structure.
4. Repair or replacement of an exterior wall, wooden feature, deteriorated detail or element should be limited to the minimal amount necessary and must be replaced in kind or with a substitute material matching the original in composition, dimension, size, shape, color, pattern, texture and profile.
5. Covering existing wall material, including wooden siding, wooden shingles, stucco, brick, and stonework, with coatings or materials such as vinyl or aluminum siding, is **not permitted**.

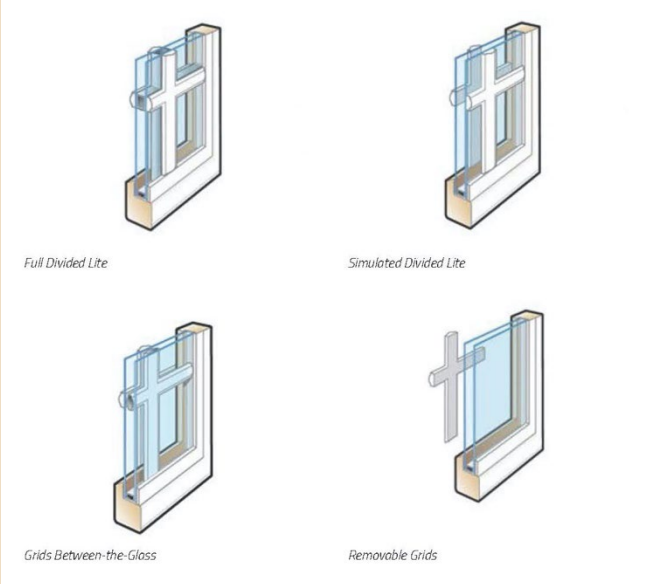


DESIGN GOAL

Replace materials in kind, matching the original in composition, dimension, size, shape, color, pattern and texture.

C. WINDOWS AND DOORS

1. Adding new windows and door openings including surrounding trim, or altering or filling existing openings must not compromise the architectural character of the structure and **must** be congruous with the Pinehurst Historic District.
2. Windows and doors that contribute to the overall historic form and character of a structure, as well as materials, details, and features of the windows and doors that contribute to the character of the structure must be retained and preserved.
3. If a window, door or feature is completely missing and/or is to be replaced, it must be replaced with a new window, door or feature matching the original in scale, size, material and color with the character of the structure.
4. If repair of a window, door, feature, or deteriorated detail is necessary it must be limited to the minimal amount necessary and must match the original in material composition, dimension, size, shape, color, pattern and texture.
 - a. Wooden windows on street-facing elevations must be replaced in kind.
 - b. If windows are repaired or replaced, the muntins, mullions, lintels and sills of the new installation must be compatible in composition, dimension, size, shape, color, pattern and texture with the character of the structure.
 - c. If the existing window incorporates divided lights the replacement windows must have true or simulated divided lights.
 - d. Removable grids and grids between the glass are **not permitted**.

 <p>The image contains four 3D cutaway diagrams of window units. Top-left: 'Full Divided Lite' shows a single pane of glass held in a frame by a cross-shaped muntin. Top-right: 'Simulated Divided Lite' shows two panes of glass held together by a cross-shaped muntin on both the interior and exterior sides. Bottom-left: 'Grids Between-the-Glass' shows two panes of glass held together by a cross-shaped grid located between the two panes. Bottom-right: 'Removable Grids' shows two panes of glass held together by a cross-shaped grid that is attached to the exterior side of the glass panes.</p>	<p>WINDOW GRIDS EXPLAINED</p> <p>Divided lights (individual glass panes within a sash) are framed with muntins, sometimes called grids. Each divided light in historic wood windows is framed with wood muntins. These are called Full Divided Lights. Modern insulated windows often convincingly simulate this with muntins on both sides and between the two layers of glass that make up a single insulated glass unit. "Removable Grids" and "grids between the glass" are less convincing and are not permitted.</p>
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The Village of Pinehurst Historic District Standards

5. Windows and doors of existing structures should retain their original size and dimension, except as may be modified to accommodate code compliance and accessibility.
6. Window and door surrounds and trim must match the original door or window surrounds and trim. Replacing sash windows should not alter the original trim.
7. The number and size of panes, mullions, and muntins, and all window and door hardware must be compatible with those of the existing windows and doors.
8. New dormer windows on street-facing elevations should be compatible with the size and placement of existing windows on primary elevations and must not compromise the architecture of the structure.
9. New windows and doors visible from the street must be compatible with existing units in proportion, shape, positioning, location, pattern, size, materials, and detail.
10. Glass Block windows are **not permitted** on street-facing elevations.
11. Painted, tinted or filmed glass on windows or doors is **not permitted**
12. Sliding doors are **not permitted** on street-facing elevations.
13. Security bars should be installed to align with the vertical and horizontal mullions and muntins of doors and windows wherever possible.

D. STORM WINDOWS AND DOORS

1. Storm windows and storm doors **must not** compromise the architectural character of the openings or casings to which they are applied.
2. Storm windows and doors should be installed inside the casing and not cover the casing.
3. Storm windows with a meeting rail must align with the meeting rail of the window to which they are applied. They should be installed so that existing windows and frames are not damaged or obscured.
4. Storm doors should have full view glass, or mullions that align with the stiles, rails and muntins of the door.
5. Storm windows and storm doors should be finished to match the window or door to which they are applied.
6. Screen doors should be finished to match the door to which they are applied.
7. It is preferable to use interior storm windows in lieu of exterior storm windows, if possible.

E. SHUTTERS AND AWNINGS

1. New shutters **must** be compatible with the historic character of the structure and **must** be congruous with existing shutters in the Pinehurst Historic District.
2. Shutters that contribute to the overall historic form and character of a structure, including their functional and decorative features, must be retained and preserved.
3. Shutter replacements should be wood or have the appearance of wood in composition and texture, and be appropriately mounted.
 - a. If the original shutter was operable, the replacement should be operable or appear to be operable.
 - b. Each shutter must be equal to the height of the window opening, and one half the width.
 - c. Shutters on arched windows **must** have an arched head as well.
 - d. Shutter color should be compatible with the structure and must be in the Village of Pinehurst Color Palette.
4. New or replacement awnings should be based on historical awning profiles, styles, and shapes and be in a scale compatible with the house.
 - a. New awnings should not obscure windows, doors, porches, or other character-defining features.
 - b. Awnings should be fabric.
 - c. Awning colors **must** be in the Village of Pinehurst Color Palette.

F. CHIMNEYS

1. New chimneys or chimney repairs and alterations must be compatible with the architectural character of the structure and **must** be congruous with chimneys in the Pinehurst Historic District.
2. Chimneys and their functional or decorative features that contribute to the overall historic form and character of a structure must be retained and preserved where possible.
3. If an existing chimney feature is completely missing and is to be replaced, it must be replaced with a new feature matching the original feature or other design compatible in scale, size, material and color with the character of the structure.
4. If repair of a chimney, chimney feature, or deteriorated detail or element is necessary, it should be limited to the minimal amount necessary and replaced in kind, matching the existing in composition, dimension, size, shape, color, pattern and texture.
 - a. New mortar and brick must match the existing colors.
 - b. Replacement material should match the existing in composition, dimension, size, shape, color, pattern and texture, but using the original material is preferred.
5. If replacement of an entire chimney is necessary, it should be replaced in kind, matching the existing.
6. Chimneys visible from the street must be repaired or rebuilt rather than removed.
7. Parging above the foundation is not permitted.
8. Chimneys on exterior walls should be brick or stone from grade to top of chimney.
9. Wooden, boxed chimneys are **not permitted** on new construction and additions.
10. Chimney repairs and or additions should have masonry and bonding patterns, joints, texture, color, tooling profile, and details compatible with the structure and other masonry features.
11. Existing chimneys must not be covered with materials that do not match the existing materials.
12. Chimney caps should match existing caps and be compatible with architectural style of the structure.

B. EXTERIOR WALLS AND TRIM

1. Any changes or additions to an exterior wall, such as windows or door openings, bays, vents, balconies or chimneys, **must** be compatible with the architecture of the structure and **must** be congruous with ~~the~~ character of the Pinehurst Historic District.
2. Exterior walls that contribute to the historic form and character of a structure ~~should~~ must be retained and preserved ~~wherever possible~~, including ~~their~~ functional and decorative features such as cornices, foundations, bays, quoins, arches, water tables, brackets, and entablatures.
3. If an existing exterior wall feature is completely missing and is to be replaced, it should be replaced with a new feature based on the original feature or a new design compatible in scale, size, material and color; with the character of the structure.
4. Repair or replacement of an ~~entire~~ exterior wall, ~~or~~ wooden feature, ~~or~~ deteriorated detail or element should be limited to the minimal amount necessary and ~~should~~ must be replaced in kind or with a substitute material matching the original in composition, dimension, size, shape, color, pattern, texture and profile, ~~but using the original material is preferred wherever possible~~.
5. Covering existing wall material, including wooden siding, wooden shingles, stucco, brick, and stonework, with coatings or materials such as vinyl or aluminum siding, is ~~not appropriate~~ permitted.

Commented [JT1]: Are we introducing a new criterion, rather than "congruous"?

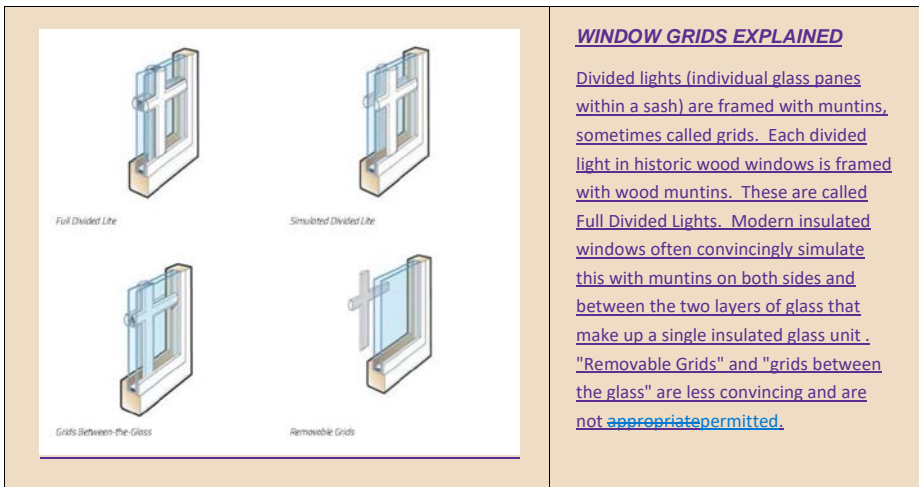


DESIGN GOAL

Replace materials in kind, matching the original in composition, dimension, size, shape, color, pattern and texture.

C. WINDOWS AND DOORS

1. Adding new windows and door openings including surrounding trim, or altering or filling existing openings should-must not compromise the architectural character of the structure and **must** be congruous with the Pinehurst Historic District.
2. Windows and doors that contribute to the overall historic form and character of a structure, as well as materials, details, and features of the windows and doors that contribute to the character of the structure should-must be retained and preserved wherever possible.
3. If a window, door or feature is completely missing and or is to be replaced, it should-must be replaced with a new window, door or feature based-on-matching the original or-a-new-design compatible in scale, size, material and color with the character of the structure wherever possible.
4. If repair or-replacement of an entire window, door, feature, or deteriorated detail is necessary, it must be limited to the minimal amount necessary and replaced-in-kind, matching must match the original in material composition, dimension, size, shape, color, pattern and texture.
 - a. Wooden windows on street-facing elevations should-must be replaced in kind.
 - b. If windows are repaired or replaced, the muntins, mullions, lintels and sills of the new installation should-must be compatible in composition, dimension, size, shape, color, pattern and texture with the character of the structure.
 - c. Whereif the existing window comprisesincorporates divided lights andthe replacement Windows windows should-must have true or simulated divided lights.
 - d. Snap-inRemovable muntins-grids and grids between the glass are **not** appropriatepermitted.



WINDOW GRIDS EXPLAINED

Divided lights (individual glass panes within a sash) are framed with muntins, sometimes called grids. Each divided light in historic wood windows is framed with wood muntins. These are called Full Divided Lights. Modern insulated windows often convincingly simulate this with muntins on both sides and between the two layers of glass that make up a single insulated glass unit. "Removable Grids" and "grids between the glass" are less convincing and are not appropriatepermitted.

The Village of Pinehurst Historic District Standards

5. Windows and doors of existing structures should retain their original size and dimension, except as may be modified to accommodate code compliance and accessibility.
6. Window and door surrounds and trim ~~should~~ must match the original door or window surrounds and trim ~~whenever possible~~. Replacing sash windows should not alter the original trim.
7. The number and size of panes, mullions, and muntins, and all window and door hardware ~~should~~ must be compatible with those of the existing windows and doors.
8. New dormer windows on street-facing elevations should be compatible with the size and placement of existing windows on primary elevations and ~~should~~ must not compromise the architecture of the structure.
- ~~9. Windows and doors that contribute to the overall historic form and character of a structure, as well as materials, details, and features of the windows and doors that contribute to the character of the structure should be retained and preserved.~~
- ~~10-9.~~ 10-9. New windows and doors ~~easily~~ visible from the street ~~should~~ must be compatible with existing units in proportion, shape, positioning, location, pattern, size, materials, and detail.
- ~~11-10.~~ 11-10. Glass Block windows are **not permitted** on street-facing elevations.
- ~~12-11.~~ 12-11. Painted, tinted or filmed glass on windows or doors is **not appropriate** ~~permitted on street-facing elevations~~.
- ~~13-12.~~ 13-12. Sliding doors are **not permitted** on street-facing elevations.
- ~~14-13.~~ 14-13. Security bars should be installed ~~in a way that avoids damages to the historic fabric~~. ~~Custom security bars should~~ align with the vertical and horizontal ~~dividing elements~~ mullions and muntins of doors and windows ~~and are preferred over standard expandable models~~ whenever possible.

Commented [JT2]: compatible

D. STORM WINDOWS AND DOORS

1. Storm windows and storm doors **must not** compromise the architectural character of the openings or casings to which they are applied ~~and must be congruous with the Pinehurst Historic District.~~
2. Storm windows and doors should be installed inside the casing and not cover the casing.
3. Storm windows with a meeting rail ~~should~~ **must** align with the meeting rail of the window to which they are applied ~~if possible.~~ They should be installed so that existing windows and frames are not damaged or obscured.
4. Storm doors should have full view glass, or mullions that align with the ~~meeting stiles,~~ rails and ~~mullions-muntins~~ of the door.
5. Storm windows and storm doors should be ~~factory finished vinyl, painted wood, or painted or baked enamel finished aluminum~~ **finished to match the window or door to which they are applied.**
6. ~~Storm or screen~~ **Screen** doors should be ~~finished to match the door to which they are applied~~ **painted in a color that matches the walls or trim of the structure and the color should be in the Village of Pinehurst Color Palette.**
7. It is preferable to use interior storm windows ~~over~~ **in lieu of** exterior ~~storm windows,~~ if possible.

E. SHUTTERS AND AWNINGS

1. New shutters **must** be compatible with the historic character of the structure and **must** be congruous with existing shutters in the Pinehurst Historic District.

2. Shutters that contribute to the overall historic form and character of a structure, including their functional and decorative features, ~~should~~ must be retained and preserved ~~if possible~~.

~~3. If a shutter or awning is missing or deteriorated and replacement is desired, it should be replaced with a new shutter or awning based on matching the original, or a new another design compatible with the character of the structure.~~

~~4.3. Shutters~~ Shutter replacements should be wood or have the appearance of wood in composition and texture, and be appropriately mounted.

- a. If the original shutter was operable, the replacement should be operable or appear to be operable.
- b. Each shutter must be equal to the height of the window opening, and one half the width.
- c. Shutters on arched windows **must** have an arched head as well.
- d. Shutter color should be compatible with the structure and ~~should~~ must be in the Village of Pinehurst Color Palette.

~~5.4. Awnings~~ New or replacement awnings should be based on historical awning profiles, styles, and shapes and be in a scale compatible with the buildinghouse.

- a. New awnings should not obscure windows, doors, porches, or other character-defining features ~~or damage the original material~~.
- b. ~~It is preferable that a~~ Awnings should be ~~canvas or a woven~~ fabric.
- c. Awning colors **must** be in the Village of Pinehurst Color Palette.

Commented [JT3]: Delete and leave to staff to determine when not possible?

F. CHIMNEYS

1. New chimneys or chimney repairs and alterations ~~should~~must be compatible with the architectural character of the structure and **must** be congruous with chimneys in the Pinehurst Historic District.
2. Chimneys and their functional ~~and~~or decorative features that contribute to the overall historic form and character of a structure ~~should~~must be retained and preserved where possible.
3. If an existing chimney feature is completely missing and is to be replaced, it ~~should~~must be replaced with a new feature ~~based on matching~~ the original feature or ~~a new~~other design compatible in scale, size, material and color with the character of the structure.
4. If repair ~~or replacement of an entire of a~~ chimney, chimney feature, or deteriorated detail or element is necessary, it should be limited to the minimal amount necessary and replaced in kind, matching the existing in composition, dimension, size, shape, color, pattern and texture.
 - a. New mortar and brick ~~should~~must match the existing colors.
 - b. ~~Compatible substitute~~Replacement material should match the existing in composition, dimension, size, shape, color, pattern and texture, but using the original material is preferred.
- ~~5.~~5. If replacement of an entire chimney is necessary, it should be replaced in kind, matching the existing.
- ~~5.~~6. Chimneys visible from the street ~~should~~must be repaired or rebuilt rather than removed.
- ~~6.~~7. ~~Chimney stacks should not have stucco applied above the foundations as a means of stabilization~~Parging above the foundation is not permitted.
- ~~7.~~8. ~~Exterior chimneys~~Chimneys on exterior walls should ~~have a masonry finish~~be brick or stone and ~~should extend from grade level for additions~~from grade to top of chimney.
- ~~8.~~9. Wooden, boxed chimneys are **not** ~~appropriate~~permitted on new construction and additions.
- ~~9.~~10. Chimney repairs and or additions should have masonry and bonding patterns, joints, texture, color, tooling profile, and details compatible with the structure and other masonry features.
- ~~10.~~11. Existing chimneys must not be covered with materials that do not match the existing materials. ~~Paint, cement coating, stucco, artificial stone, brick veneer, or other coatings should not be applied to chimneys that are not currently or were not historically covered.~~
- ~~11.~~12. Chimney caps should match existing caps ~~or~~and be compatible with architectural style of the structure ~~or building.~~

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Commented [JT4]: Not stucco at all?

TREES

ISSUE #1 - DEAD OR DISEASED TREES

The removal of dead or diseased trees is currently categorized as Basic Work and requires no Staff approval. The existing language is as follows:

Section II.B.21

21. Removal of dead or diseased trees (The Village Planner may request documentation from a landscape professional that the trees are dead or diseased)

Questions for Commission Discussion:

Q1: Why would anyone even notify Staff?

Q2: Why would anyone obtain written documentation from a landscape professional (rather than just a verbal opinion) or provide it to Staff if they do not require approval prior to cutting down the trees?

Q3: Would it be preferable to classify this as Minor Work, but not requiring a fee? Minor Work will require review by a Village Planner. If moved to the Minor Work section of the Standards, Section II.B.21 will be deleted from the Basic Work and Maintenance section and replaced with the following language in the Minor Work section:

Section II.C.28 Proposed Language

28. Removal of dead or diseased trees requires that the trees are confirmed to be dead or diseased by a visual inspection of a Village Planner. The Village Planner may request that the owner provide documentation from a landscape professional that the trees are dead or diseased prior to removal.

ISSUE #2 - HEALTHY TREES

As was discussed at our meeting during review of the application at 20 Muster Branch Road, our existing Standards currently appear to allow removal of all trees on the non-street side of a property without HPC review if done separately from any type of construction. Section II.D.9 defines as Major Work the removal of trees only on the street facing side of a property, while Section VII.C.4 incorporates the concept of “impact on the overall canopy” only when removal of trees is occurring in the context of new construction. I would propose closing this “loophole” by changing slightly the Major Work definition. The language of Section VII.C.4 will remain as is. I would also like to acknowledge Roxanne for helping me think through this issue and for providing the below.

Section II.D.9 Existing Language

9. Removal of healthy trees twelve (12) inches and larger in diameter at breast height (DBH) along the street side of a property that are not located within the right-of-way.

Section II.D.9 Proposed Language

9. Removal of healthy trees twelve (12) inches and larger in diameter at breast height (DBH) that are not located within the right-of-way. Trees that are located within the right-of-way are owned and maintained by the Village.